

Trophy Wood Business

TOWN OF TROPHY CLUB, TEXAS

ORDINANCE NO. 2002 – 41 P&Z

AN ORDINANCE OF THE TOWN OF TROPHY CLUB, TEXAS, AMENDING ORDINANCE NO. 2000-06 P&Z OF THE TOWN, THE SAME BEING THE COMPREHENSIVE ZONING ORDINANCE, AND AMENDING THE OFFICIAL ZONING MAP OF THE TOWN BY CHANGING THE ZONING ON A CERTAIN TRACT OF LAND DESCRIBED AS A 16.0 ACRE TRACT OF LAND LOCATED GENERALLY TO THE NORTH OF STATE HIGHWAY 114, WEST OF T. W. KING ROAD AND SOUTH OF HANNA COURT AND JAMIE COURT, AND BEING MORE PARTICULARLY DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN FROM ITS CURRENT ZONING OF "CG" COMMERCIAL GENERAL TO PD PLANNED DEVELOPMENT NO. 25, TROPHY WOOD CENTER, WITH MIXED USES INCLUDING RETAIL USES, RETAIL AND HOTEL USES AND OFFICE USES; PROVIDING THAT THE 16.0 ACRE TRACT OF LAND SHALL BE DIVIDED INTO NINE (9) SEPARATE TRACTS WITH MIXED USES AS FOLLOWS: TRACT 1 (APPROXIMATELY 1.1 ACRES), TRACT 2 (APPROXIMATELY 0.9 ACRES), TRACT 3 (APPROXIMATELY 1.6 ACRES), TRACT 4 (APPROXIMATELY 1.5 ACRES), AND TRACT 8 (APPROXIMATELY 2.2 ACRES) FOR RETAIL USES; TRACT 5 (APPROXIMATELY 2.0 ACRES), TRACT 7 (APPROXIMATELY 1.8 ACRES), AND TRACT 9 (APPROXIMATELY 2.4 ACRES) FOR RETAIL AND HOTEL USES; AND TRACT 6 (APPROXIMATELY 1.0 ACRES) FOR OFFICE USES; PROVIDING THAT THE USES ALLOWED ON SUCH TRACT OF LAND SHALL BE IN ACCORDANCE WITH AND SUBJECT TO THE REQUIREMENTS OF THE COMPREHENSIVE ZONING ORDINANCE, THIS ORDINANCE ADOPTING PD PLANNED DEVELOPMENT DISTRICT NO. 25, AND ALL OTHER APPLICABLE ORDINANCES OF THE TOWN; PROVIDING THAT THE ZONING MAP SHALL REFLECT THE PD PLANNED DEVELOPMENT NO. 25 ZONING DISTRICT FOR THE SUBJECT PROPERTY; PROVIDING A CONCEPT PLAN, PROVIDING DEVELOPMENT STANDARDS; REQUIRING SUBSEQUENT TOWN APPROVAL OF A LANDSCAPE PLAN AND PLANT LIST, BUILDING ELEVATIONS, SITE LINE STUDIES, CIVIL SITE PLANS, PHOTOMETRIC PLAN AND LIGHT FIXTURES, SIGN CRITERIA, DEVELOPMENT SCHEDULES FOR THE INDIVIDUAL TRACTS AND THE ENTIRE TRACT AND OTHER REQUIREMENTS APPLICABLE TO PD PLANNED DEVELOPMENT DISTRICT NO. 25; PROVIDING A CUMULATIVE CLAUSE; PROVIDING FOR SAVINGS; PROVIDING FOR SEVERABILITY; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH

OFFENSE AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH A VIOLATION OCCURS OR CONTINUES; PROVIDING FOR PUBLICATION; PROVIDING FOR ENGROSSMENT AND ENROLLMENT; AND PROVING AND EFFECTIVE DATE.

WHEREAS, the owner of the tracts of land, collectively described as a 16.0 acre tract of land currently zoned "CG" Commercial General, such Land being more specifically described in Exhibit "A" attached hereto and incorporated herein, (the "Land"), filed an application with the Town Planning and Zoning Commission requesting a change in zoning of the Land into PD Planned Development No. 25, Trophy Wood Center, with mixed uses including retail uses, retail and hotel uses and office uses, with Tract 1 consisting of approximately 1.1 acres of land, Tract 2 consisting of approximately 0.9 acres of land, Tract 3 consisting of approximately 1.55 acres of land, Tract 4 consisting of approximately 1.5 acres of land, and Tract 8 consisting of approximately 2.2 acres of land, for retail uses; Tract 5 consisting of approximately 2.0 acres of land, Tract 7 consisting of approximately 1.8 acres of land, and Tract 9 consisting of approximately 2.8 acres of land, for retail and hotel uses; and Tract 6 consisting of approximately 1.0 acres of land for office uses. Such application further requested an amendment to the official Zoning District Map of the Town in accordance with Ordinance No. 2000-06 P&Z of the Town (the "Comprehensive Zoning Ordinance"); and

WHEREAS, all legal notices, requirements and conditions having been complied with, the case to rezone the Land came before the Planning and Zoning Commission; and

WHEREAS, after public notices were given in compliance with State law and public hearings were conducted, and after considering the information submitted at those public hearings and all other relevant information and materials, the Planning and Zoning Commission of the Town has recommended to the Town Council the adoption of the amendments to Comprehensive Zoning Ordinance No. 2000-06 P&Z as set forth in this Ordinance; and

WHEREAS, after complying with all legal notices, requirements, and conditions, a public hearing was held before Town Council at which the Town Council considered, among other things, the character of the land and its suitability for particular uses, with a view of encouraging the most appropriate use of land in the Town, and does hereby find that the rezoning approved hereby accomplishes such objectives; and

WHEREAS, the Town Council has determined that there is a necessity and need for the change in zoning and that the proposed change is consistent with the Comprehensive Land Use Plan.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF TROPHY CLUB, TEXAS:

SECTION 1.
INCORPORATION OF PREMISES

The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

SECTION 2.
FINDINGS

After due deliberations and consideration of the recommendation of the Planning and Zoning Commission and the information and other materials received at the public hearing, the Town Council has concluded that the adoption of this Ordinance is in the best interests of the Town of Trophy Club, Texas, and of the public health, safety and welfare.

SECTION 3.
REZONING

Ordinance No. 2000-06 P&Z of the Town of Trophy Club, Texas, the same being the Town's Comprehensive Zoning Ordinance, is hereby amended in the following particulars, and all other articles, chapters, sections, paragraphs, sentences, phrases and words are not amended but are hereby ratified and affirmed:

- A. The zoning on the Land, more particularly described in Exhibit "A", attached hereto and incorporated herein, is hereby changed from "CG" Commercial General to PD Planned Development District No. 25, with Tract 1 consisting of approximately 1.1 acres of land, Tract 2 consisting of approximately 0.9 acres of land, Tract 3 consisting of approximately 1.55 acres of land, Tract 4 consisting of approximately 1.5 acres of land, Tract 5 consisting of approximately 2.0 acres of land, Tract 6 consisting of approximately 1.0 acres of land, Tract 7 consisting of approximately 1.8 acres of land, Tract 8 consisting of approximately 2.2 acres of land, and Tract 9 consisting of approximately 2.8 acres of land, for use in accordance with the requirements of this Ordinance and all other applicable ordinances, rules, and regulations of the Town. Requirements of this Ordinance are more specifically described and set forth in Exhibits "B" and "C", which are attached hereto and incorporated herein for all purposes, and shall apply to all Tracts of PD Planned Development No. 25 unless otherwise specified in such Exhibits. In the event of any ambiguities or conflicts between the written word in the Development Standards and the illustrations provided in the Exhibits to this ordinance, the Exhibits shall control.
1. Concept Plan. A Concept Plan for the Land, and all parts thereof, is attached hereto as Exhibit "B", "Concept Plan" and incorporated herein as if copied in its entirety. The Final Site Plan subsequently approved by Town Council shall be adhered to in carrying out the development of the land and compliance with each and every part of such Final Site Plan shall

constitute a condition precedent to the issuance of any building permit for the land in this PD Planned Development District.

2. Development Standards. The development standards for this PD Planned Development are attached hereto as Exhibit "C", "Development Standards", and are incorporated herein as if copied in their entirety. Such standards and regulations include, but are not limited to, a general purpose; size of tracts; uses generally; permitted uses; limitation of uses; area, building and site regulations; parking and loading regulations; landscaping requirements and tree preservation; hours of operation of uses; building material requirements; lighting; screening and fences; signs; fire lanes; final site plan requirements; outdoor storage; mechanical and electrical equipment requirements; and amendments to the site plan. Such Development Standards shall be adhered to in carrying out the development of the land in accordance with this Ordinance, and shall individually and collectively constitute conditions precedent to the granting of any Certificate of Occupancy for all structures within PD Planned Development No. 25.

3. The following additional development standards shall be subject to subsequent Town approval and such approval by Town shall be a condition precedent to the issuance of any permits, authorization, or approval by the Town allowing construction of improvements upon the Land:
 - a. Landscape Plan & Plant List;
 - b. Building Elevations;
 - c. Site Line Studies;
 - d. Civil Site Plan;
 - e. Photometric Plan and Light Fixtures;
 - f. Sign Criteria;
 - g. Retaining Wall and Fence Criteria; and
 - h. Development Schedule.

SECTION 4.
APPLICABLE REGULATIONS

In all respects the Land shall be subject to the applicable regulations contained in the Comprehensive Zoning Ordinance and all other applicable and pertinent ordinances and regulations of the Town, except as specifically provided herein.

SECTION 5.
ZONING MAP

The Planning and Zoning Coordinator is hereby directed to mark and indicate on the official Zoning District Map of the Town the zoning change herein made.

SECTION 6.
CUMULATIVE

That this Ordinance shall be cumulative of all other Ordinances and shall not repeal any of the provisions of such Ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance.

SECTION 7.
SAVINGS

All rights and remedies of the Town of Trophy Club, Texas, are expressly saved as to any and all violations of the provisions of any other Ordinance affecting regulations governing and regulating the zoning, platting, and subdivision of land which have secured at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such Ordinances same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

SECTION 8.
SEVERABILITY

If any section, article, paragraph, sentence, clause, phrase or word in this Ordinance or application thereof to any person or circumstance is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of this Ordinance, and the Town Council hereby declares it would have passed such remaining portions of this Ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

SECTION 9.
PENALTY

It shall be unlawful for any person to violate any provision of this Ordinance, and any person violating or failing to comply with any provision hereof shall be fined, upon conviction, in an amount not more than Two Thousand Dollars (\$2,000.00), and a separate offense shall be deemed committed each day during or on which a violation occurs or continues.

SECTION 10.
PUBLICATION

The Town Secretary of the Town of Trophy Club is hereby directed to publish the Caption, Penalty and Effective Date of this Ordinance as required by Section 52.011 of the Texas Local Government Code.

SECTION 11.
ENGROSSMENT AND ENROLLMENT

The Town Secretary of the Town of Trophy Club is hereby directed to engross and enroll this Ordinance by copying the exact Caption, Penalty and Effective Date in the minutes of the Town Council and by filing this Ordinance in the ordinance records of the Town.

SECTION 12.
EFFECTIVE DATE.

This Ordinance shall become effective from and after its date of adoption and publication as provided by law, and it is so ordained.

PASSED AND APPROVED by the Town Council of the Town of Trophy Club, Texas, this 2nd day of December, 2002.

Mayor
Town of Trophy Club, Texas

ATTEST:

Town Secretary
Town of Trophy Club, Texas

[SEAL]



APPROVED AS TO FORM:

Town Attorney
Town of Trophy Club, Texas

PLANNED DEVELOPMENT No. 25
TROPHY WOOD CENTER
TROPHY CLUB, TEXAS

Contents

Exhibit "A" Legal Description
Exhibit "B" Concept Plan
Exhibit "C" Development Standards

PLANNED DEVELOPMENT No. 25
TROPHY WOOD CENTER
TROPHY CLUB, TEXAS

Exhibit "A"

Legal Description

EXHIBIT "A"

LEGAL DESCRIPTION

Being a tract of land situated in the W. MEDLIN SURVEY, ABSTRACT NO. 1588 and the J. HENRY SURVEY, ABSTRACT NO. 528, Denton County, Texas and being a portion of a 307.91 acre tract of land described in a deed as recorded in Volume 676, Page 153, of the Deed Records, Denton County, Texas and being more particularly described as follows:

COMMENCING from a point from which a brass cap monument found bears South 53° 27' 47" West, a distance of 0.41 feet, said point being in the northeast right-of-way line of STATE HIGHWAY 114, (variable width right-of-way);

THENCE, along said northeast right-of-way line of STATE HIGHWAY NO. 114, (variable width right-of-way), North 49° 55' 16" West, a distance of 278.77 feet to a point in the beginning of a curve to the left, said curve having a radius of 3839.72 feet and a chord bearing North 45° 41' 12" West, a distance of 1.86 feet;

THENCE, along said northeast right-of-way line of STATE HIGHWAY NO. 114, (variable width right-of-way) and along said curve to the left, through a central angle of 00° 01' 40" and an arc length of 1.86 feet, to an aluminum disk found marked D.O.T.T.O., for the POINT OF BEGINNING, said aluminum disk being the beginning of a curve to the left, said curve having a radius of 3839.72 feet and a chord bearing of North 47° 59' 27" West, a distance of 306.85 feet;

THENCE, along said northeast right-of-way line of STATE HIGHWAY NO. 114, (variable width right-of-way) and along said curve to the left, through a central angle of 04° 34' 48" and an arc length of 306.94 feet, to a 5/8 inch iron rod found for corner, said iron rod being the beginning of a curve to the left, said curve having a radius of 2884.79 feet and a chord bearing North 53° 03' 29" West, a distance of 251.58 feet;

THENCE, along said curve to the left, through a central angle of 04° 59' 54" and an arc length of 251.66 feet to a Brass Monument found for corner in said northeast right-of-way line of STATE HIGHWAY NO. 114, (variable width right-of-way), said Brass Monument being the beginning of a curve to the left, said curve having a radius of 1959.86 feet and a chord bearing North 54° 31' 38" West, a distance of 173.50 feet;

THENCE, along said northeast right-of-way line of STATE HIGHWAY NO. 114, (variable width right-of-way) and along said curve to the left, through a central angle of 05° 04' 26" and an arc length of 173.56 feet, to a 5/8 inch iron rod with cap marked HUTT ZOLLARD, found for corner, said iron rod being the beginning of a curve to the right, said curve having a radius of 586.27 feet and a chord bearing North 34° 38' 27" East, a distance of 615.96 feet;

THENCE, departing said northeast right-of-way line of STATE HIGHWAY NO. 114, (variable width right-of-way), along said curve to the right, through a central angle of 63° 22' 46", at 478.31 feet, passing a 5/8 inch iron rod found with cap marked CARTER & BURGESS and a 487.72 feet, passing a 5/8 inch iron rod found with cap marked CARTER & BURGESS, continuing for a total arc length of 648.52 feet, to a 1/2 inch iron rod set for corner;

THENCE, North 66° 26' 10" East, at 18.11 feet, passing a 5/8 inch iron rod found with cap marked CARTER & BURGESS and continuing for a total distance of 38.27 feet, to a 1/2 inch iron rod set for corner;

THENCE, South 80° 49' 52" East, a distance of 186.85 feet to a 1/2 inch iron rod found for corner, said iron rod being the beginning of a curve to the right, said curve having a radius of 540.0 feet and a chord bearing North 21° 51' 34" East, a distance of 57.16 feet;

THENCE, along said curve to the right, through a central angle of 06° 04' 02" and an arc length of 57.18 feet, to a 1/2 inch iron rod found for corner;

THENCE, North 24° 53' 35" East, a distance of 49.43 feet to a 1/2 inch iron rod set for corner in the westerly right-of-way line of TROPHY WOOD DRIVE, (80 feet, right-of-way), said iron rod being the beginning of a curve to the left, said curve having a radius of 1010.00 feet and a chord bearing South 46° 58' 12" East, a distance of 84.18 feet;

THENCE, departing said westerly right-of-way line of TROPHY WOOD DRIVE, (80 feet, right-of-way), along said curve to the left, through a central angle of 04° 46' 37" and an arc length of 84.21 feet, to a 1/2 inch iron rod set for corner in the easterly right-of-way line of TROPHY WOOD DRIVE, (80 feet, right-of-way);

THENCE, departing said easterly right-of-way line of TROPHY WOOD DRIVE, (80 feet, right-of-way), South 24° 53' 35" West, a distance of 23.22 feet, to a 1/2 inch iron rod set for corner, said iron rod being the beginning of a curve to the left, said curve having a radius of 460.00 feet and a chord bearing South 21° 51' 34" West, a distance of 48.69 feet;

THENCE, along said curve to the right, through a central angle of 06° 04' 02" and an arc length of 48.71 feet, to a 1/2 inch iron rod set for corner;

THENCE, South 18° 49' 33" West, a distance of 178.39 feet, to a 1/2 inch iron rod set for corner and beginning of a curve to the right, said curve having a radius of 890.00 feet and a chord bearing South 22° 41' 33" West, a distance of 120.04 feet;

THENCE, along said curve to the right, through a central angle of 07° 44' 00" and an arc length of 120.13 feet, to a 1/2 inch iron rod set for corner;

THENCE, South 60° 27' 51" East, a distance of 362.31 feet, to a 1/2 inch iron rod set for corner;

THENCE, South 89° 35' 09" East, a distance of 485.00 feet, to a 1/2 inch iron rod set for corner in the westerly right-of-way line of T.W. KING ROAD, (variable width right-of-way);

THENCE, along said westerly right-of-way line of T.W. KING ROAD, (variable width right-of-way), South 00° 17' 02" West, a distance of 305.12 feet, to a P.K. Nail found for corner;

THENCE, departing said westerly right-of-way line of T.W. King Road, (variable width right-of-way), North $89^{\circ} 39' 52''$ West, a distance of 196.53 feet , to a 1/2 inch iron rod set for corner;

THENCE, South $03^{\circ} 10' 37''$ West, a distance of 76.33 feet, to a 5/8 inch iron rod with cap marked SEMPCO SURVEYING, found for corner;

THENCE, South $53^{\circ} 27' 47''$ West, a distance of 137.48 feet, to a 1/2 inch iron rod set for corner;

THENCE, West, a distance of 458.63 feet to the POINT OF BEGINNING;

CONTAINING within these metes and bounds, 16.515 acres or 719,402 square feet of land, more or less.

PLANNED DEVELOPMENT No. 25
TROPHY WOOD CENTER
TROPHY CLUB, TEXAS

Exhibit "B"
Concept Plan

4. DESCRIPTION

Being a tract of land situated in the W. MEDLIN SURVEY, ABSTRACT NO. 1388 and the E. HENRY SURVEY, ABSTRACT NO. 328, Denton County, Texas and being a portion of a 207.91 acre tract of land described in a deed as recorded in Volume 815, Page 153, of the Deed Record, Denton County, Texas and being more particularly described as follows:

COMMENCING from a point from which a brass cap monument found bears South 53° 27' 47" West, a distance of 0.41 feet, said point being in the northeast right-of-way line of STATE HIGHWAY 114, (variable width right-of-way);

THENCE, along said northeast right-of-way line of STATE HIGHWAY NO. 114, (variable width right-of-way), North 47° 58' 27" West, a distance of 276.37 feet to a point in the beginning of a curve to the left, said curve having a radius of 3839.72 feet and a chord bearing North 45° 41' 12" West, a distance of 1.88 feet;

THENCE, along said northeast right-of-way line of STATE HIGHWAY NO. 114, (variable width right-of-way) and along said curve to the left, through a central angle of 60° 01' 40" and an arc length of 1.88 feet, to an aluminum disk found marked D.C.T.C., for the POINT OF BEGINNING, said aluminum disk being the beginning of a curve to the left, said curve having a radius of 3839.72 feet and a chord bearing of North 47° 58' 27" West, a distance of 356.85 feet;

THENCE, along said northeast right-of-way line of STATE HIGHWAY NO. 114, (variable width right-of-way) and along said curve to the left, through a central angle of 04° 34' 48" and an arc length of 205.84 feet, to a 5/8 inch iron rod found for corner, said iron rod being the beginning of a curve to the left, said curve having a radius of 2864.79 feet and a chord bearing North 53° 03' 28" West, a distance of 251.50 feet;

THENCE, along said curve to the left, through a central angle of 04° 59' 34" and an arc length of 231.88 feet to a Brass Monument found for corner in said northeast right-of-way line of STATE HIGHWAY NO. 114, (variable width right-of-way), said Brass Monument being the beginning of a curve to the left, said curve having a radius of 1929.88 feet and a chord bearing North 54° 31' 38" West, a distance of 173.50 feet;

THENCE, along said northeast right-of-way line of STATE HIGHWAY NO. 114, (variable width right-of-way) and along said curve to the left, through a central angle of 02° 54' 26" and an arc length of 173.88 feet, to a 5/8 inch iron rod with cap marked HUIT ZOLLARD, found for corner, said iron rod being the beginning of a curve to the right, said curve having a radius of 589.27 feet and a chord bearing North 34° 59' 27" East, a distance of 615.88 feet;

THENCE, departing said northeast right-of-way line of STATE HIGHWAY NO. 114, (variable width right-of-way), along said curve to the right, through a central angle of 63° 22' 46", of 478.31 feet, passing a 5/8 inch iron rod found with cap marked CARTER & BURCESS, continuing for a total arc length of 648.52 feet, to a 1/2 inch iron rod set for corner;

THENCE, North 88° 28' 10" East, at 18.11 feet, passing a 5/8 inch iron rod found with cap marked CARTER & BURCESS and continuing for a total distance of 382.27 feet, to a 1/2 inch iron rod set for corner;

THENCE, South 80° 49' 53" East, a distance of 188.85 feet to a 1/2 inch iron rod found for corner, said iron rod being the beginning of a curve to the right, said curve having a radius of 340.0 feet and a chord bearing North 21° 51' 34" East, a distance of 57.16 feet;

THENCE, along said curve to the right, through a central angle of 06° 04' 02" and an arc length of 37.18 feet, to a 1/2 inch iron rod found for corner;

THENCE, North 74° 53' 55" East, a distance of 48.43 feet to a 1/2 inch iron rod set for corner in the westerly right-of-way line of TROPHY WOOD DRIVE, (80 feet, right-of-way), said iron rod being the beginning of a curve to the left, said curve having a radius of 1010.00 feet and a chord bearing South 48° 58' 12" East, a distance of 65.18 feet;

THENCE, departing said westerly right-of-way line of TROPHY WOOD DRIVE, (80 feet, right-of-way), along said curve to the left, through a central angle of 04° 46' 37" and an arc length of 84.21 feet, to a 1/2 inch iron rod set for corner in the easterly right-of-way line of TROPHY WOOD DRIVE, (80 feet, right-of-way);

THENCE, departing said westerly right-of-way line of TROPHY WOOD DRIVE, (80 feet, right-of-way), South 24° 53' 35" West, a distance of 23.22 feet, to a 1/2 inch iron rod set for corner, said iron rod being the beginning of a curve to the left, said curve having a radius of 450.00 feet and a chord bearing South 21° 51' 34" West, a distance of 48.89 feet;

THENCE, along said curve to the right, through a central angle of 06° 04' 02" and an arc length of 48.71 feet, to a 1/2 inch iron rod set for corner;

THENCE, South 18° 49' 53" West, a distance of 178.39 feet, to a 1/2 inch iron rod set for corner and beginning of a curve to the right, said curve having a radius of 890.00 feet and a chord bearing South 23° 41' 33" West, a distance of 120.04 feet;

THENCE, along said curve to the right, through a central angle of 07° 44' 00" and an arc length of 120.13 feet, to a 1/2 inch iron rod set for corner;

THENCE, South 60° 27' 51" East, a distance of 382.31 feet, to a 1/2 inch iron rod set for corner in the westerly right-of-way line of T.W. KING ROAD, (variable width right-of-way);

THENCE, along said westerly right-of-way line of T.W. KING ROAD, (variable width right-of-way), South 00° 17' 02" West, a distance of 358.15 feet, to a P.M. Not found for corner;

THENCE, departing said westerly right-of-way line of T.W. KING ROAD, (variable width right-of-way), North 88° 39' 32" West, a distance of 198.53 feet, to a 1/2 inch iron rod set for corner;

THENCE, South 03° 10' 37" West, a distance of 78.33 feet, to a 5/8 inch iron rod with cap marked SEMPOD SURVEYING, found for corner;

THENCE, South 53° 27' 47" West, a distance of 137.48 feet, to a 1/2 inch iron rod set for corner;

THENCE, West, a distance of 458.83 feet to the POINT OF BEGINNING;

CONTAINING within these metes and bounds, 18,315 acres or 718,402 square feet of land, more or less.



GRAPHIC SCALE



NOTES:

1. RETAIL USES SHALL INCLUDE ALL RETAIL, RESTAURANT, AND DRIVE-IN RESTAURANT USES.
2. DEPTH OF FRONT YARD, FEET: THERE SHALL BE A FRONT YARD HAVING A DEPTH OF NOT LESS THAN THIRTY (30) FEET.
3. DEPTH OF REAR YARD, FEET: THERE SHALL BE A REAR YARD HAVING A DEPTH OF NOT LESS THAN TEN (10) FEET; TRACT 6 SHALL BE A THIRTY (30) FEET REAR YARD ADJACENT TO RESIDENTIAL ZONED LAND.
4. DEPTH OF SIDE YARD ON EACH SIDE, FEET: THERE SHALL BE A SIDE YARD HAVING A DEPTH OF NOT LESS THAN TEN (10) FEET.

TROPHY WOOD CENTER PROPERTY DATA

TRACT 1 -	1.1 ACRES
TRACT 2 -	0.9 ACRES
TRACT 3 -	1.8 ACRES
TRACT 4 -	1.5 ACRES
TRACT 5 -	2.2 ACRES
TRACT 6 -	1.0 ACRES
TRACT 7 -	1.0 ACRES
TRACT 8 -	2.2 ACRES
TRACT 9 -	2.8 ACRES
TROPHY WOOD DRIVE -	1.8 ACRES
TOTAL ACRES -	18.5 ACRES

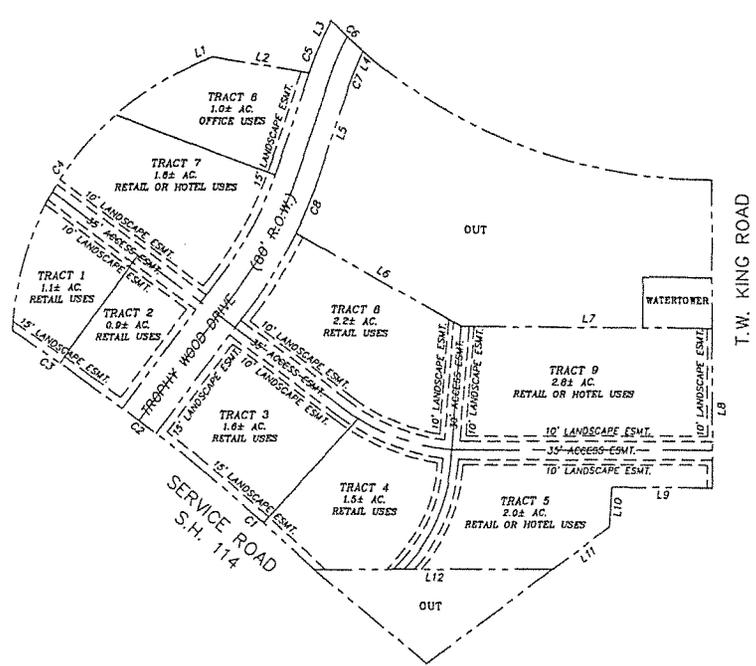
ALL ACRES AND BOUNDARIES ARE APPROXIMATE. REFER TO SURVEYS FOR FINAL DATA.

EXHIBIT "B"

CONCEPT PLAN
FOR
PLANNED DEVELOPMENT ZONING
18 ACRES
TROPHY WOOD CENTER
TROPHY CLUB, TEXAS

BY
PATE ENGINEERS

8130 BROOKRIVER DRIVE, SUITE 5-700, DALLAS, TEXAS 75247
TEL: (214)357-2981 FAX (214) 357-2985
JOB NO. D88600500 DATE: NOVEMBER 2002 SHEET 1 OF 1



PROPERTY LINE CURVE DATA				
RADIUS	DELTA	LENGTH	CHORD	BEARING
C1	1839.72'	04°31'48"	306.84'	N47°39'27"W
C2	2864.79'	04°03'54"	251.50'	N53°03'28"W
C3	1929.88'	05°04'26"	173.50'	N54°31'38"W
C4	3839.72'	60°01'40"	648.52'	N24°53'35"W
C5	340.00'	06°04'02"	48.89'	N21°51'34"W
C6	1010.00'	04°46'37"	84.21'	N48°58'12"E
C7	450.00'	06°04'02"	48.89'	S21°51'34"W
C8	890.00'	07°44'00"	120.04'	S23°41'33"W

PROPERTY LINE DATA					
BEARING	CHORD	BEARING	CHORD		
L1	186.29710'E	382.27'	L2	S49°33'09"W	485.00'
L2	S60°49'53"E	188.85'	L3	S00°17'02"W	358.15'
L3	N24°53'35"E	48.43'	L4	N89°39'52"E	196.53'
L4	S24°53'35"W	23.22'	L5	S03°10'37"W	78.33'
L5	S19°49'53"W	178.39'	L6	N11°53'27"E	137.48'
L6	S60°27'51"E	382.31'	L7	WEST	458.83'

PLANNED DEVELOPMENT No. 25
TROPHY WOOD CENTER
TROPHY CLUB, TEXAS

Exhibit "C"

Development Standards

DEVELOPMENT STANDARDS
TROPHY WOOD CENTER
TROPHY CLUB, TEXAS

The development of the Land described in Exhibit "A" – Legal Description (a copy of which is attached hereto and incorporated herein) consisting of approximately 16.5 acres of land shall be in accordance with Exhibit "B" – Concept Plan of the development (a copy of which is attached hereto and incorporated herein), all other Exhibits attached to or incorporated herein, the Comprehensive Zoning Ordinance, all other applicable ordinances and regulations of the Town of Trophy Club, and the following Development Standards, conditions and requirements:

A. Purpose: This Planned Development is designed to accommodate a variety of retail and commercial uses. For development purposes, the Land is divided into nine tracts (Tracts 1-9 as shown on Exhibit "B"), and the use and development of each of the tracts shall be in accordance with the following:

1. Tracts 1-9 (as depicted in Exhibit "B"): The following standards shall apply to Tracts 1-9:

a. Size of Tracts:

Tract 1 shall contain approximately 1.1 acres of land
Tract 2 shall contain approximately 0.9 acres of land
Tract 3 shall contain approximately 1.55 acres of land
Tract 4 shall contain approximately 1.5 acres of land
Tract 5 shall contain approximately 2.0 acres of land
Tract 6 shall contain approximately 1.0 acres of land
Tract 7 shall contain approximately 1.8 acres of land
Tract 8 shall contain approximately 2.2 acres of land
Tract 9 shall contain approximately 2.8 acres of land
Trophy Wood Drive shall contain approximately 1.6 acres of land

b. Uses Generally: In the development and use of Tract 1-9, no land shall be used and no building or structure shall be installed, erected, or converted to any use other than the following:

c. Permitted Uses:

(1) Tract 1-5 and 7-9 shall allow all uses indicated in the Use List

(2) Tract 6 shall allow all uses indicated with an asterisk (*).

Use List

*Accounting Office
*Administrative, Executive, Editorial Office
*Architectural, Engineering, Planning Office
Art Studio
Art Supply Store
Arts, Crafts, Hobby Shops
*Attorney's Office
Audio, Video, Stereo Sales (no arcade games or adult rentals)
Bakery Shop
Bank Building and Drive-Thru
*Barber, Beauty, Styling Shops
Bath Shop
Bicycle Shop
Book Stores
Cameras / Film Processing Store
Car Accessories Sales
Cards and Gift Sales
Children's Wear Shop
China and Glassware Sales
Computer / Software Sales and Service
Confectionary Shop
Cosmetic / Beauty Supply Shop
Curtain and Drapes Shop
Dairy Food Shop
Dance Studio
Drug Store, Apothecary, Pharmacy
Dry Cleaner, Pick up and Drop Off
Dry Cleaning Plant
Duplication and Mailing Service
Electrical Goods and Fixtures
Fabric and Knitting Shop
Floor Coverings Shops
Florist
Food Service
Formal Wear/Rental Store
Furniture Sales
Grocery Store
Hardware Store
*Health, Athletic Shops
Household Appliance Store
Household Furnishings, Fixtures
Ice Cream Shop
*Insurance Office
Jewelry, Watch Store
Juice Store
Kitchen Store
Lamp Sales
Laundry and Dry Cleaning (on-site dry cleaning facility limited to Exxon DF-2000 or equivalent.) This facility shall not provide equipment or services for another laundry or dry cleaning location
Luggage and Leather Sales
Mailing and Packaging/Post Office
*Massage Shop
*Medical, Dental, Chiropractic, Optometry, etc.
Men's Wear Shop
Music Store
Nail Salon
Newspaper/Magazine Sales
Office Supplies Store
Party Supplies Store
Pawn Shop
*Personal / Family Counselor
Pharmacy
Photographic Service Studio
*Physician and/ or Dentist
Picture Framing Store
Printing, Publishing, Engraving
*Public Secretary
*Real Estate Office
Restaurant
Restaurant, Drive-In
Restaurant, with Alcoholic Beverage Sales
Shoe Repair Shop
Shoe Store
Sporting Goods Store
Sports Bar
Stationery-School Supplies Sales
Tailor Shop
Telephone Store
Tobacco Sales
Toys Store
*Travel Bureau or Agency
Wallpaper, Paint Store
Wearing Apparel Shop
*Weight Reduction Studio
Women's Ready-To-Wear/Women's Specialty Shop

- (3) Tracts 5, 7 and 9 shall allow hotel uses, either full-service or limited stay facilities. Limited stay facilities shall not require facilities for meetings, conferences or full service dining.
- d. Limitation of Uses: Any use not expressly permitted herein or allowed by permit in the designated zoning district is prohibited.
- e. Area Building and Site Regulations:
 - (1) Maximum Building Coverage: The combined area of all main and accessory buildings shall not exceed sixty percent (60%) of the total site area.
 - (2) Maximum Impervious Area: The combined area occupied by all buildings, structures, off-street parking and paved areas shall not exceed eighty percent (80%) of the total site area.
 - (3) Minimum Open Spaces: All areas (but in any event at least twenty percent [20%] of the total site area) not devoted to buildings, walkways, structures or off-street parking area shall be devoted to grass, trees, gardens, shrubs, or other suitable landscape material.
 - (4) Depth of Front Yard*: There shall be a front yard having a depth of not less than thirty feet (30’).
 - (5) Depth of Rear Yard*: There shall be a rear yard having a depth of not less than ten feet (10’). Tract 6 shall have a thirty-foot (30’) rear yard adjacent to residentially zoned land.
 - (6) Width of Side Yard on each Side: A minimum of a ten foot (10’) side yard shall be required.
 - (7) Height: With the exception of hotels, no building or structure shall exceed forty feet (40’) in height or two (2) stories maximum. Any structure adjoining or contiguous to a residentially zoned district shall not exceed twenty-eight feet (28’) or one (1) story in height. Hotels shall not exceed sixty-five feet (65’) or four (4) stories in height. Building and/or structure heights shall be measured from the adjacent finished sidewalk elevation.

*All yards shall comply with Section 37, “Required Yards,” of the Comprehensive Zoning Ordinance.
- f. Parking & Loading Regulations: The minimum number of off-street parking spaces shall comply with Section 48 of the Comprehensive

Zoning Ordinance. Off-street loading shall be in accordance with Section 49, "Off-Street Loading Requirements," of the same. Hotel uses shall provide a minimum of one (1) parking space for each room. Other uses within the hotel shall provide parking in compliance with Section 48. Handicapped parking, including van accessible spaces, shall be provided according to Town standards.

B. Additional Development Standards:

1. Landscaping: Landscaping shall be provided as required by applicable ordinances, including but not limited to the Comprehensive Zoning Ordinance as amended, Section 47, Landscaping Regulations, and Article 8 of the Subdivision Regulations, except as specifically provided below:
 - a. Hedges and/or berming shall be utilized along street frontages, when possible, to screen parking from public view.
 - b. All landscaping areas shall be irrigated.
 - c. Landscaping shall be maintained by the developer/owner of the land. Any dead landscaping material shall be removed and replaced within forty-five (45) days.
 - d. All plant materials must be selected from the mandatory plant list which shall be in accordance with the Approved Tree Planting List, as outlined in Article 8 of the Subdivision Regulations. The Landscape Plan & Plant List shall be submitted for Town approval in the form of an ordinance amendment at a later date.
 - e. A minimum landscape strip of fifteen feet (15') shall be provided along State Highway 114 and fifteen feet (15') along Trophy Wood Drive and ten feet (10') along all common driveways.
 - f. The initial stage of development, site landscaping shall be installed in the right-of-way of Trophy Wood Drive.
 - (1) Landscaping shall consist of live tree planting consisting of three inch (3") caliper trees planted a maximum of fifteen feet (15') on center. Trees shall include a variety providing rapid growth and dense foliage, as well as evergreen type trees such as Live Oaks, which bear leaves all year round.
 - (2) Maintenance of the median landscaping at this location shall be the responsibility of the developer/owner for a period of twelve (12) months from the completion of the planting. The Town of Trophy Club shall assume and care after twelve

(12) months. The irrigation for the off-site landscaping shall, after the initial installation, be the responsibility of the Town of Trophy Club.

- g. The caliper of a tree is defined as the diameter of the tree trunk as measured at the point twelve inches (12") above the finished grade in accordance with standard nursery practice.
- h. Tree preservation shall be in accordance with applicable ordinances, including but not limited to Section 47 of the Comprehensive Zoning Ordinance and Article 8 of the Subdivision Regulations.
 - (1) Landscaping adjacent to residentially zoned land shall contain evergreen shade trees to provide adequate screening year-round.

Detailed Landscape Plans, sealed by a registered landscape architect shall be provided on each tract at the time of the Final Site Plan submittal, which shall require Town Council approval upon recommendation by the Planning & Zoning Commission, following appropriate publication and notification of affected parties.

- 2. Hours of Operation of Uses: Hours of operation for the retail and restaurant uses set forth herein shall be from 6:00 am to 2:00 am. Hotel uses shall operate twenty-four (24) hours per day. Normal business hours for office uses shall be 7:00 am to 10:00 pm.

No outside sales of any kind shall be conducted, including but not limited to, truck lot, pedestrian walkway, tent or other sales.

- 3. Building Materials: All main and accessory buildings shall be of exterior fire resistant construction having one hundred percent (100%) of the total exterior walls, excluding doors, windows and porches, constructed of natural or manufactured stone, concrete, brick, stucco, split face concrete block or other material of equal characteristics in accordance with the Town's Building Codes and Fire Codes. All buildings and structures shall be veneered with stone and shall have a dull finish metal type roof and EIFS trim. Alternate materials may be used if approved by the Planning & Zoning Commission. Color selection for roof material shall be approved by the Town Council upon recommendation from the Planning and Zoning Commission prior to issuance of building permits.
- 4. Lighting: All parking lot lighting shall be located approximately as shown on the Final Site Plan. Lighting fixtures shall be a maximum total height of

twenty-five feet (25') on twenty-four inch (24") concrete bases. Ornamental street lights at the perimeter drive approaches shall have lighting fixtures mounted on twelve foot (12') poles or two foot (2') concrete bases and shall not exceed a maximum height of fourteen feet (14'). Total height of lighting fixtures shall be measured from the adjacent ground. All lighting shall be oriented down and away from all adjacent properties. Building lighting shall be mounted to the building face or in ground fixtures and shall be oriented as to wash the building with light. Wall mounted down directional lights will be on the rear of buildings and perimeter light will be shielded to minimize overspill. Perimeter lighting shall be designed to reflect away from adjacent residential areas. Foot-candle limitations at residential property lines and right-of-way lines should not exceed 0.1 foot candle. Foot-candles on site shall average 2.5 foot-candle and not exceed 8.0 foot-candle. A photometric plan shall be included with the Final Site Plan.

5. Screening & Fencing: Fencing adjacent to residentially zoned land shall provide brick veneer columns on eight-foot (8') high wood panels of sealed cedar or redwood.
6. Signage: Prior to the issuance of a building permit for the Land or any part thereof, an overall sign plan, accompanying the Final Site Plan for the Land must be approved by the Town Council upon recommendation from the Planning & Zoning Commission. Additionally, written signage standards shall be approved by the Town Council upon recommendation of the Planning & Zoning Commission at a later date, in the form of an amendment to this Ordinance.
7. Fire Lanes: Fire lanes will be shown on the Final Site Plan. Location and details shall be provided at the time of the Final Site Plan submittal and shall be approved by the fire department.
8. Final Site Plan: The Final Site Plan shall be submitted to the Planning & Zoning Commission and Town Council for approval. Such approval shall be in the form of an ordinance duly adopted by the Town Council, upon recommendation from the Planning & Zoning Commission.

Upon approval, the Final Site Plan shall become an amendment to this Ordinance. In the event of any conflicts between this ordinance and such approved Final Site Plan, the Ordinance adopting the Approved Final Site Plan shall control.

9. Outdoor Storage: No outdoor storage, except for refuse disposal, shall be permitted on the land. Dumpster location shall be subject to the prior approval of the Planning & Zoning Commission. Dumpsters are to be enclosed on all sides with masonry walls and gates of a similar

architectural style of the buildings. Minimum height of the enclosures shall be determined by the height of the dumpster. When possible, landscaping shall provide additional screening for the enclosure. Operating hours for trash service shall be in accordance with the Town of Trophy Club standards.

10. Mechanical & Electrical Equipment: Mechanical and electrical equipment, including air conditioning units, shall be designed, installed, and operated to minimize noise impact on surrounding property. All such screening shall be screened from public view. Equipment screening shall not be considered as a part of building height.
11. Amendments to the Site Plan: Amendments to the Site Plan for items that are not determined to be substantial by the Planning & Zoning Administrator shall be permitted. The Planning & Zoning Administrator shall determine items as not substantial.
12. Notwithstanding any contrary provision in the Ordinance or any exhibits hereto, the final approvals listed below must be obtained from the Town prior to the issuance of any building permits. Such approvals must be made by an Ordinance amending this Ordinance creating PD Planned Development No. 25:
 - a. Final Site Plan approval, including but not limited to Landscape Plan and Plat List
 - b. Building Elevations
 - c. Sight Line Studies
 - d. Civil Site Plan
 - e. Photometric Plan & Light Fixtures Illustrations
 - f. Sign Criteria
 - g. Retaining Wall and Fence Criteria; and
 - h. Development Schedule

DEVELOPMENT STANDARDS
TROPHY WOOD CENTER
TROPHY CLUB, TEXAS

The development of the Land described in Exhibit "A" – Legal Description (a copy of which is attached hereto and incorporated herein) consisting of approximately 16.5 acres of land shall be in accordance with Exhibit "B" – Concept Plan of the development (a copy of which is attached hereto and incorporated herein), all other Exhibits attached to or incorporated herein, the Comprehensive Zoning Ordinance, all other applicable ordinances and regulations of the Town of Trophy Club, and the following Development Standards, conditions and requirements:

A. Purpose: This Planned Development is designed to accommodate a variety of retail and commercial uses. For development purposes, the Land is divided into nine tracts (Tracts 1-9 as shown on Exhibit "B"), and the use and development of each of the tracts shall be in accordance with the following:

1. Tracts 1-9 (as depicted in Exhibit "B"): The following standards shall apply to Tracts 1-9:

a. Size of Tracts:

Tract 1 shall contain approximately 1.1 acres of land
Tract 2 shall contain approximately 0.9 acres of land
Tract 3 shall contain approximately 1.55 acres of land
Tract 4 shall contain approximately 1.5 acres of land
Tract 5 shall contain approximately 2.0 acres of land
Tract 6 shall contain approximately 1.0 acres of land
Tract 7 shall contain approximately 1.8 acres of land
Tract 8 shall contain approximately 2.2 acres of land
Tract 9 shall contain approximately 2.8 acres of land
Trophy Wood Drive shall contain approximately 1.6 acres of land

b. Uses Generally: In the development and use of Tract 1-9, no land shall be used and no building or structure shall be installed, erected, or converted to any use other than the following:

c. Permitted Uses:

- (1) Tract 1-5 and 7-9 shall allow all uses indicated in the Use List
- (2) Tract 6 shall allow all uses indicated with an asterisk (*).

Use List

*Accounting Office
*Administrative, Executive, Editorial Office
*Architectural, Engineering, Planning Office
Art Studio
Art Supply Store
Arts, Crafts, Hobby Shops
*Attorney's Office
Audio, Video, Stereo Sales (no arcade games or adult rentals)
Bakery Shop
Bank Building and Drive-Thru
*Barber, Beauty, Styling Shops
Bath Shop
Bicycle Shop
Book Stores
Cameras / Film Processing Store
Car Accessories Sales
Cards and Gift Sales
Children's Wear Shop
China and Glassware Sales
Computer / Software Sales and Service
Confectionary Shop
Cosmetic / Beauty Supply Shop
Curtain and Drapes Shop
Dairy Food Shop
Dance Studio
Drug Store, Apothecary, Pharmacy
Dry Cleaner, Pick up and Drop Off
Dry Cleaning Plant
Duplication and Mailing Service
Electrical Goods and Fixtures
Fabric and Knitting Shop
Floor Coverings Shops
Florist
Food Service
Formal Wear/Rental Store
Furniture Sales
Grocery Store
Hardware Store
*Health, Athletic Shops
Household Appliance Store
Household Furnishings, Fixtures
Ice Cream Shop
*Insurance Office
Jewelry, Watch Store
Juice Store
Kitchen Store
Lamp Sales
Laundry and Dry Cleaning (on-site dry cleaning facility limited to Exxon DF-2000 or equivalent.) This facility shall not provide equipment or services for another laundry or dry cleaning location
Luggage and Leather Sales
Mailing and Packaging/Post Office
*Massage Shop
*Medical, Dental, Chiropractic, Optometry, etc.
Men's Wear Shop
Music Store
Nail Salon
Newspaper/Magazine Sales
Office Supplies Store
Party Supplies Store
Pawn Shop
*Personal / Family Counselor
Pharmacy
Photographic Service Studio
*Physician and/ or Dentist
Picture Framing Store
Printing, Publishing, Engraving
*Public Secretary
*Real Estate Office
Restaurant
Restaurant, Drive-In
Restaurant, with Alcoholic Beverage Sales
Shoe Repair Shop
Shoe Store
Sporting Goods Store
Sports Bar
Stationery-School Supplies Sales
Tailor Shop
Telephone Store
Tobacco Sales
Toys Store
*Travel Bureau or Agency
Wallpaper, Paint Store
Wearing Apparel Shop
*Weight Reduction Studio
Women's Ready-To-Wear/Women's Specialty Shop

- (3) Tracts 5, 7 and 9 shall allow hotel uses, either full-service or limited stay facilities. Limited stay facilities shall not require facilities for meetings, conferences or full service dining.
- d. Limitation of Uses: Any use not expressly permitted herein or allowed by permit in the designated zoning district is prohibited.
- e. Area Building and Site Regulations:
- (1) Maximum Building Coverage: The combined area of all main and accessory buildings shall not exceed sixty percent (60%) of the total site area.
- (2) Maximum Impervious Area: The combined area occupied by all buildings, structures, off-street parking and paved areas shall not exceed eighty percent (80%) of the total site area.
- (3) Minimum Open Spaces: All areas (but in any event at least twenty percent [20%] of the total site area) not devoted to buildings, walkways, structures or off-street parking area shall be devoted to grass, trees, gardens, shrubs, or other suitable landscape material.
- (4) Depth of Front Yard*: There shall be a front yard having a depth of not less than thirty feet (30').
- (5) Depth of Rear Yard*: There shall be a rear yard having a depth of not less than ten feet (10'). Tract 6 shall have a thirty-foot (30') rear yard adjacent to residentially zoned land.
- (6) Width of Side Yard on each Side: A minimum of a ten foot (10') side yard shall be required.
- (7) Height: With the exception of hotels, no building or structure shall exceed forty feet (40') in height or two (2) stories maximum. Any structure adjoining or contiguous to a residentially zoned district shall not exceed twenty-eight feet (28') or one (1) story in height. Hotels shall not exceed sixty-five feet (65') or four (4) stories in height. Building and/or structure heights shall be measured from the adjacent finished sidewalk elevation.
- *All yards shall comply with Section 37, "Required Yards," of the Comprehensive Zoning Ordinance.
- f. Parking & Loading Regulations: The minimum number of off-street parking spaces shall comply with Section 48 of the Comprehensive

Zoning Ordinance. Off-street loading shall be in accordance with Section 49, "Off-Street Loading Requirements," of the same. Hotel uses shall provide a minimum of one (1) parking space for each room. Other uses within the hotel shall provide parking in compliance with Section 48. Handicapped parking, including van accessible spaces, shall be provided according to Town standards.

B. Additional Development Standards:

1. Landscaping: Landscaping shall be provided as required by applicable ordinances, including but not limited to the Comprehensive Zoning Ordinance as amended, Section 47, Landscaping Regulations, and Article 8 of the Subdivision Regulations, except as specifically provided below:
 - a. Hedges and/or berming shall be utilized along street frontages, when possible, to screen parking from public view.
 - b. All landscaping areas shall be irrigated.
 - c. Landscaping shall be maintained by the developer/owner of the land. Any dead landscaping material shall be removed and replaced within forty-five (45) days.
 - d. All plant materials must be selected from the mandatory plant list which shall be in accordance with the Approved Tree Planting List, as outlined in Article 8 of the Subdivision Regulations. The Landscape Plan & Plant List shall be submitted for Town approval in the form of an ordinance amendment at a later date.
 - e. A minimum landscape strip of fifteen feet (15') shall be provided along State Highway 114 and fifteen feet (15') along Trophy Wood Drive and ten feet (10') along all common driveways.
 - f. The initial stage of development, site landscaping shall be installed in the right-of-way of Trophy Wood Drive.
 - (1) Landscaping shall consist of live tree planting consisting of three inch (3") caliper trees planted a maximum of fifteen feet (15') on center. Trees shall include a variety providing rapid growth and dense foliage, as well as evergreen type trees such as Live Oaks, which bear leaves all year round.
 - (2) Maintenance of the median landscaping at this location shall be the responsibility of the developer/owner for a period of twelve (12) months from the completion of the planting. The Town of Trophy Club shall assume and care after twelve

(12) months. The irrigation for the off-site landscaping shall, after the initial installation, be the responsibility of the Town of Trophy Club.

- g. The caliper of a tree is defined as the diameter of the tree trunk as measured at the point twelve inches (12") above the finished grade in accordance with standard nursery practice.
- h. Tree preservation shall be in accordance with applicable ordinances, including but not limited to Section 47 of the Comprehensive Zoning Ordinance and Article 8 of the Subdivision Regulations.
 - (1) Landscaping adjacent to residentially zoned land shall contain evergreen shade trees to provide adequate screening year-round.

Detailed Landscape Plans, sealed by a registered landscape architect shall be provided on each tract at the time of the Final Site Plan submittal, which shall require Town Council approval upon recommendation by the Planning & Zoning Commission, following appropriate publication and notification of affected parties.

- 2. Hours of Operation of Uses: Hours of operation for the retail and restaurant uses set forth herein shall be from 6:00 am to 2:00 am. Hotel uses shall operate twenty-four (24) hours per day. Normal business hours for office uses shall be 7:00 am to 10:00 pm.

No outside sales of any kind shall be conducted, including but not limited to, truck lot, pedestrian walkway, tent or other sales.

- 3. Building Materials: All main and accessory buildings shall be of exterior fire resistant construction having one hundred percent (100%) of the total exterior walls, excluding doors, windows and porches, constructed of natural or manufactured stone, concrete, brick, stucco, split face concrete block or other material of equal characteristics in accordance with the Town's Building Codes and Fire Codes. All buildings and structures shall be veneered with stone and shall have a dull finish metal type roof and EIFS trim. Alternate materials may be used if approved by the Planning & Zoning Commission. Color selection for roof material shall be approved by the Town Council upon recommendation from the Planning and Zoning Commission prior to issuance of building permits.
- 4. Lighting: All parking lot lighting shall be located approximately as shown on the Final Site Plan. Lighting fixtures shall be a maximum total height of

twenty-five feet (25') on twenty-four inch (24") concrete bases. Ornamental street lights at the perimeter drive approaches shall have lighting fixtures mounted on twelve foot (12') poles or two foot (2') concrete bases and shall not exceed a maximum height of fourteen feet (14'). Total height of lighting fixtures shall be measured from the adjacent ground. All lighting shall be oriented down and away from all adjacent properties. Building lighting shall be mounted to the building face or in ground fixtures and shall be oriented as to wash the building with light. Wall mounted down directional lights will be on the rear of buildings and perimeter light will be shielded to minimize overspill. Perimeter lighting shall be designed to reflect away from adjacent residential areas. Foot-candle limitations at residential property lines and right-of-way lines should not exceed 0.1 foot candle. Foot-candles on site shall average 2.5 foot-candle and not exceed 8.0 foot-candle. A photometric plan shall be included with the Final Site Plan.

5. Screening & Fencing: Fencing adjacent to residentially zoned land shall provide brick veneer columns on eight-foot (8') high wood panels of sealed cedar or redwood.
6. Signage: Prior to the issuance of a building permit for the Land or any part thereof, an overall sign plan, accompanying the Final Site Plan for the Land must be approved by the Town Council upon recommendation from the Planning & Zoning Commission. Additionally, written signage standards shall be approved by the Town Council upon recommendation of the Planning & Zoning Commission at a later date, in the form of an amendment to this Ordinance.
7. Fire Lanes: Fire lanes will be shown on the Final Site Plan. Location and details shall be provided at the time of the Final Site Plan submittal and shall be approved by the fire department.
8. Final Site Plan: The Final Site Plan shall be submitted to the Planning & Zoning Commission and Town Council for approval. Such approval shall be in the form of an ordinance duly adopted by the Town Council, upon recommendation from the Planning & Zoning Commission.

Upon approval, the Final Site Plan shall become an amendment to this Ordinance. In the event of any conflicts between this ordinance and such approved Final Site Plan, the Ordinance adopting the Approved Final Site Plan shall control.

9. Outdoor Storage: No outdoor storage, except for refuse disposal, shall be permitted on the land. Dumpster location shall be subject to the prior approval of the Planning & Zoning Commission. Dumpsters are to be enclosed on all sides with masonry walls and gates of a similar

architectural style of the buildings. Minimum height of the enclosures shall be determined by the height of the dumpster. When possible, landscaping shall provide additional screening for the enclosure. Operating hours for trash service shall be in accordance with the Town of Trophy Club standards.

10. Mechanical & Electrical Equipment: Mechanical and electrical equipment, including air conditioning units, shall be designed, installed, and operated to minimize noise impact on surrounding property. All such screening shall be screened from public view. Equipment screening shall not be considered as a part of building height.
11. Amendments to the Site Plan: Amendments to the Site Plan for items that are not determined to be substantial by the Planning & Zoning Administrator shall be permitted. The Planning & Zoning Administrator shall determine items as not substantial.
12. Notwithstanding any contrary provision in the Ordinance or any exhibits hereto, the final approvals listed below must be obtained from the Town prior to the issuance of any building permits. Such approvals must be made by an Ordinance amending this Ordinance creating PD Planned Development No. 25:
 - a. Final Site Plan approval, including but not limited to Landscape Plan and Plat List
 - b. Building Elevations
 - c. Sight Line Studies
 - d. Civil Site Plan
 - e. Photometric Plan & Light Fixtures Illustrations
 - f. Sign Criteria
 - g. Retaining Wall and Fence Criteria; and
 - h. Development Schedule

TOWN OF TROPHY CLUB, TEXAS

ORDINANCE NO 2008-40 P&Z

AN ORDINANCE OF THE TOWN OF TROPHY CLUB, TEXAS AMENDING ORDINANCE NO. 2002-41 P&Z, KNOWN AS PD PLANNED DEVELOPMENT DISTRICT NO. 25, TROPHY WOOD BUSINESS CENTER, BY AMENDING EXHIBIT "D" ENTITLED "SITE PLANS", TO ADOPT A DETAILED FINAL SITE PLAN FOR TRACT 7 AS SET FORTH IN THIS AMENDMENT AND IN EXHIBITS 7-1 THROUGH 7-11 TO EXHIBIT "D"; PROVIDING FOR INCORPORATION OF PREMISES; PROVIDING FOR AN AMENDMENT TO INCLUDE EXHIBITS 7-1 THROUGH 7-11 PROVIDING A FINAL DETAILED SITE PLAN, A LANDSCAPE PLAN AND PLANT LIST, BUILDING ELEVATIONS, SITE LINE STUDIES, A PHOTOMETRIC PLAN AND LIGHT FIXTURE ILLUSTRATIONS, SIGN CRITERIA, RETAINING WALL AND FENCE CRITERIA AND A DEVELOPMENT SCHEDULE; PROVIDING A SAVINGS AND REPEALER CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR ENGROSSMENT AND ENROLLMENT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH A VIOLATION OCCURS OR CONTINUES; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town Council of the Town of Trophy Club, Texas (the "Town"), is authorized and empowered by law, in accordance with Chapter 212 of the Texas Local Government Code, to regulate the subdivision of land and property development within the Town;

WHEREAS, on 2 December, 2002, the Town adopted Ordinance No. 2002-41 P&Z, amending Ordinance No. 2000-06 P&Z of the Town, the same being the Comprehensive Zoning Ordinance, and amending the official zoning map of the Town by changing the zoning on a certain tract of land described as a 16.0 acre tract of land located generally to the North of State Highway 114, West of T.W. King Road, and South of Hanna and Jamie Court, from it's then current zoning of "CG", Commercial General, to PD Planned Development No. 25, Trophy Wood Business Center; and

WHEREAS, the developer of Tract 7 has requested an amendment to PD-25 for the purpose of seeking approval of a Final Detailed Site Plan, Landscape Plan and Plant List, Building Elevations, Sight Line Studies, Photometric Plan and Light Fixture Illustrations, Sign Criteria, Retaining Wall & Fence Criteria, and

a Development Schedule, for Tract 7 and such amendments are set forth herein and in Exhibits 7-1 through 7-11 to Exhibit "D" entitled "Site Plans"; and

WHEREAS, all legal notices, requirements and conditions having been complied with, the case to rezone the Land came before the Planning and Zoning Commission; and

WHEREAS, after public notices were given in compliance with State law and public hearings were conducted, and after considering the information submitted at those public hearings and all other relevant information and materials, the Planning and Zoning Commission of the Town has recommended to the Town Council the adoption of the amendments to Ordinance No. 2002-41 P&Z as set forth in this Ordinance; and

WHEREAS, after complying with all legal notices, requirements, and conditions, a public hearing was held before Town Council at which the Town Council considered, among other things, the character of the land and its suitability for particular uses, with a view of encouraging the most appropriate use of land in the Town, and does hereby find that the rezoning approved hereby accomplishes such objectives; and

WHEREAS, the Town Council has determined that there is a necessity and need for the change in zoning and that the proposed change is consistent with the Comprehensive Land Use Plan.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF TROPHY CLUB:

**SECTION 1.
INCORPORATION OF PREMISES**

That the above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

**SECTION 2.
AMENDMENT**

Exhibit "D" entitled "Site Plans" of Ordinance No. 2002-41 P&Z of the Town of Trophy Club, Texas, the same being PD Planned Development No. 25, Trophy Wood Business Center, is hereby amended to add the following regulations relating to Tract 7 of the Land to Exhibit "D" and to incorporate Exhibits 7.1 through 7.11 to Exhibit "D" so that Exhibit "D" shall include the following and shall also include Exhibits 7.1 through 7.11 , and all other articles, chapter, sections, paragraphs, sentence, phrases and words are not amended but are hereby ratified and affirmed.

TRACT 7:

- A. Final Detailed Site Plan: A Final Detailed Site Plan for Tract 7 of this PD Planned Development, and all parts therefore, is attached hereto as Exhibit "7.1", Final Detailed Site Plan, and incorporated herein as if copied in its entirety. The Final Detailed Site Plan shall be adhered to in carrying out the development of Tract 7 of the Land and compliance with each and every part of such Final Detailed Site Plan shall constitute as a condition precedent to the issuance of any building permit for Tract 7 of the land in the PD Planned Development District.
- B. Landscape Plan & Plant List: The landscape plan and plant list for Tract 7 of this PD Planned Development are attached hereto as Exhibit "7.2", "Landscape Plan and Plant List", and are incorporated herein as if copied in their entirety.
- C. Irrigation Plan: The irrigation plan for Tract 7 of this PD Planned Development are attached hereto as Exhibit "7.3", "Irrigation Plan", and are incorporated herein as if copied in their entirety.
- D. Building Elevations. The building elevations for Tract 7 of this PD Planned Development are attached hereto as Exhibit "7.4", "Building Elevations", and are incorporated herein as if copied in their entirety.
- E. Site Line Studies. The site line studies for Tract 7 of this PD Planned Development are attached hereto as Exhibit "7.5", "Site Line Studies", and are incorporated herein as if copied in their entirety.
- F. Photometric Plan and Light Fixtures. A photometric plan and light fixture requirements for Tract 7 of this PD Planned Development are set forth as Exhibits "7.6" and "7.7", "Photometric Plan and Light Fixtures", which is attached hereto and incorporated herein as if copied in its entirety.
- G. Sign Criteria. Signage requirements for Tract 7 of this PD Planned Development are set forth as Exhibits "7.8", "7.9", and "7.10", "Sign Criteria", which is attached and incorporated herein as if copied in its entirety.
- H. Retaining Wall and Fence Criteria. The retaining wall surrounding the swimming pool for Tract 7 of this PD Planned Development are included as part of the Final Site Plan in Exhibit 7.1, which is attached hereto and incorporated herein as if copied in its entirety.

- I. Development Schedule. The development schedule for Tract 7 of this PD Planned Development is set forth as Exhibit "7.11", "Development Schedule", which is attached hereto and incorporated herein as if copied in its entirety.

SECTION 3. SAVINGS AND REPEALER

That this Ordinance shall be cumulative of all other Ordinances of the Town affecting the PD-25 and shall not repeal any of the provisions of such Ordinances except in those instances where provisions of those Ordinances are in direct conflict with the provisions of this Ordinance; whether such Ordinances are codified or uncodified, and all other provisions of the Ordinances of the Town of Trophy Club, codified or uncodified, not in conflict with the provisions of this Ordinance, shall remain in full force and effect. Notwithstanding the foregoing, any complaint, action, cause of action or claim which prior to the effective date of this Ordinance has been initiated or has arisen under or pursuant to such repealed Ordinance(s) shall continue to be governed by the provisions of that Ordinance and for that purpose the Ordinance shall be deemed to remain and continue in full force and effect.

SECTION 4. SEVERABILITY

If any section, article, paragraph, sentence, clause, phrase or word in this Ordinance, or application thereof to any person or circumstance, is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of the Ordinance, and the Town Council hereby declares it would have passed such remaining portions of the Ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

SECTION 5. ENGROSSMENT AND ENROLLMENT

The Town Secretary of the Town of Trophy Club is hereby directed to engross and enroll this Ordinance in accordance with the Town Charter.

SECTION 6. PENALTY

It shall be unlawful for any person to violate any provision of this Ordinance, and any person violating or failing to comply with any provision of this Ordinance shall be fined, upon conviction, not less than One Dollar (\$1.00) nor

more than Two Thousand Dollars (\$2,000.00), and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

**SECTION 7.
EFFECTIVE DATE**

This Ordinance shall take effect from and after its date of passage in accordance with law, and it is so ordained.

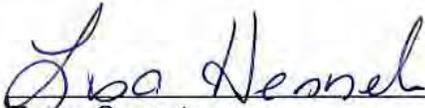
PASSED AND APPROVED by the Town Council of the Town of Trophy Club, Texas, this 1st day of December, 2008.



Mayor
Town of Trophy Club, Texas

Effective: Friday, December 5, 2008

ATTEST:



Town Secretary
Town of Trophy Club, Texas

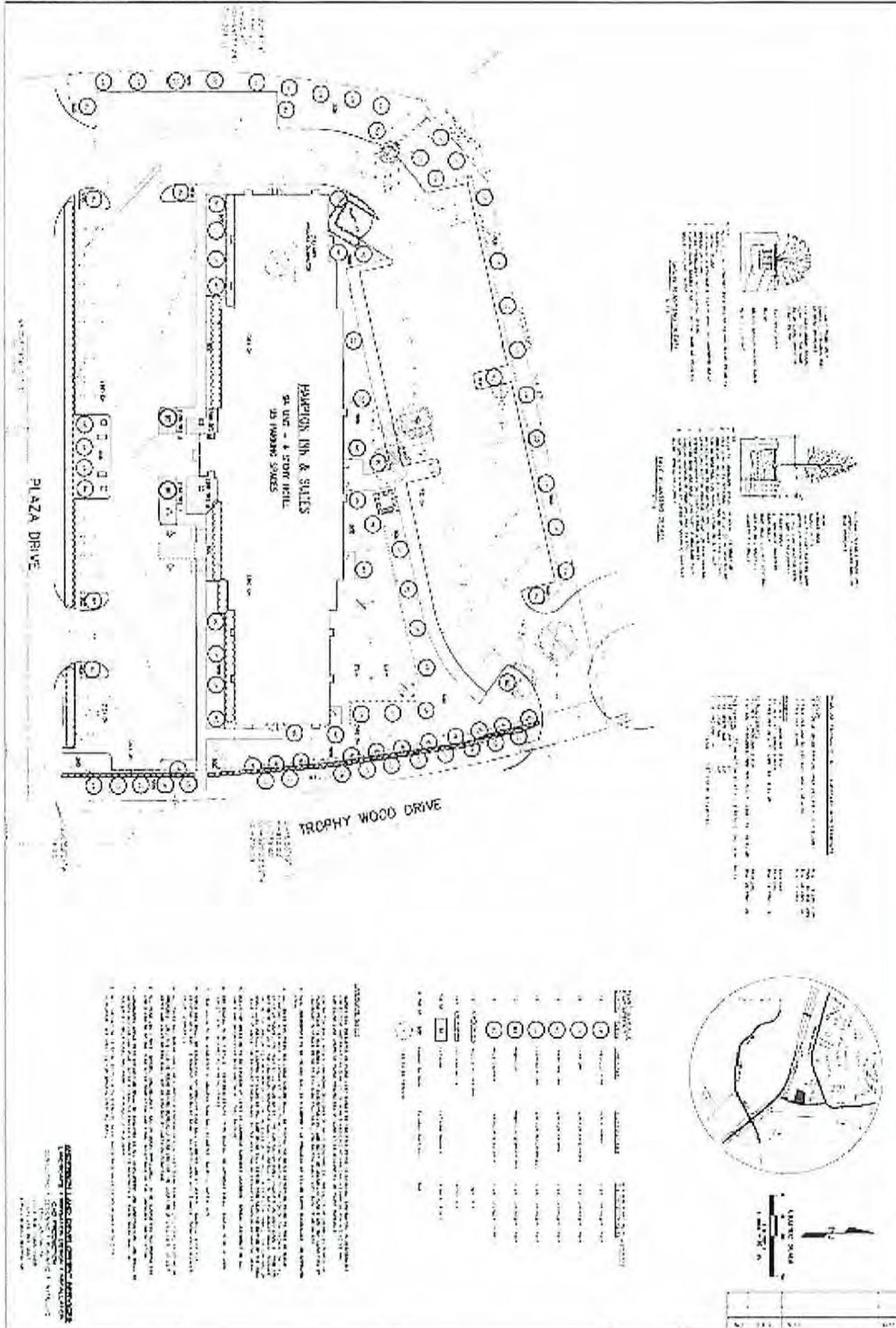
[SEAL]



APPROVED AS TO FORM:



Town Attorney
Town of Trophy Club, Texas

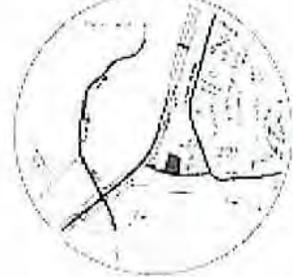


Ord. 2008-40 P & Z Exhibit

NOTES:

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DALLAS LANDSCAPE DESIGN AND MAINTENANCE MANUAL.
2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DALLAS LANDSCAPE DESIGN AND MAINTENANCE MANUAL.
3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DALLAS LANDSCAPE DESIGN AND MAINTENANCE MANUAL.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DALLAS LANDSCAPE DESIGN AND MAINTENANCE MANUAL.
5. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DALLAS LANDSCAPE DESIGN AND MAINTENANCE MANUAL.
6. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DALLAS LANDSCAPE DESIGN AND MAINTENANCE MANUAL.
7. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DALLAS LANDSCAPE DESIGN AND MAINTENANCE MANUAL.
8. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DALLAS LANDSCAPE DESIGN AND MAINTENANCE MANUAL.
9. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DALLAS LANDSCAPE DESIGN AND MAINTENANCE MANUAL.
10. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DALLAS LANDSCAPE DESIGN AND MAINTENANCE MANUAL.

PLANTING	QUANTITY	LOCATION	REMARKS
A	10	PLAZA DRIVE	PLANTING
B	15	TROPHY WOOD DRIVE	PLANTING
C	20	PLAZA DRIVE	PLANTING
D	25	TROPHY WOOD DRIVE	PLANTING
E	30	PLAZA DRIVE	PLANTING
F	35	TROPHY WOOD DRIVE	PLANTING
G	40	PLAZA DRIVE	PLANTING
H	45	TROPHY WOOD DRIVE	PLANTING

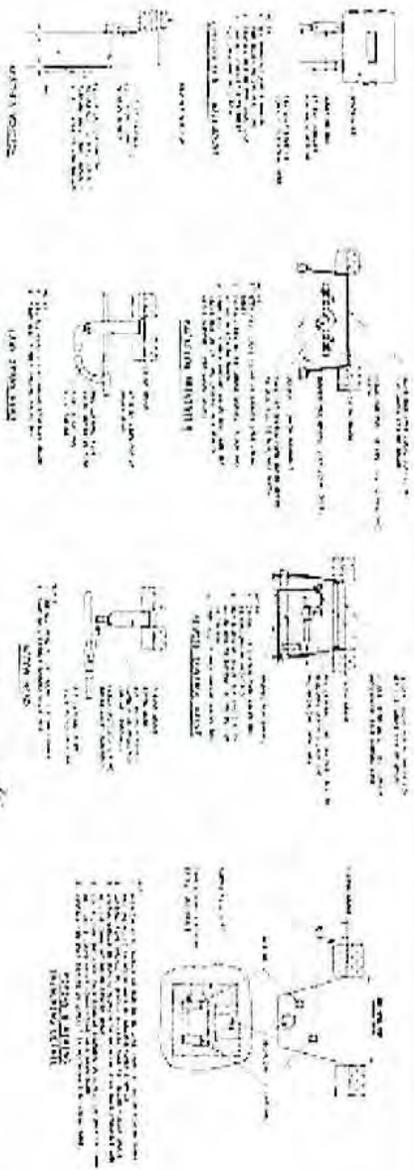
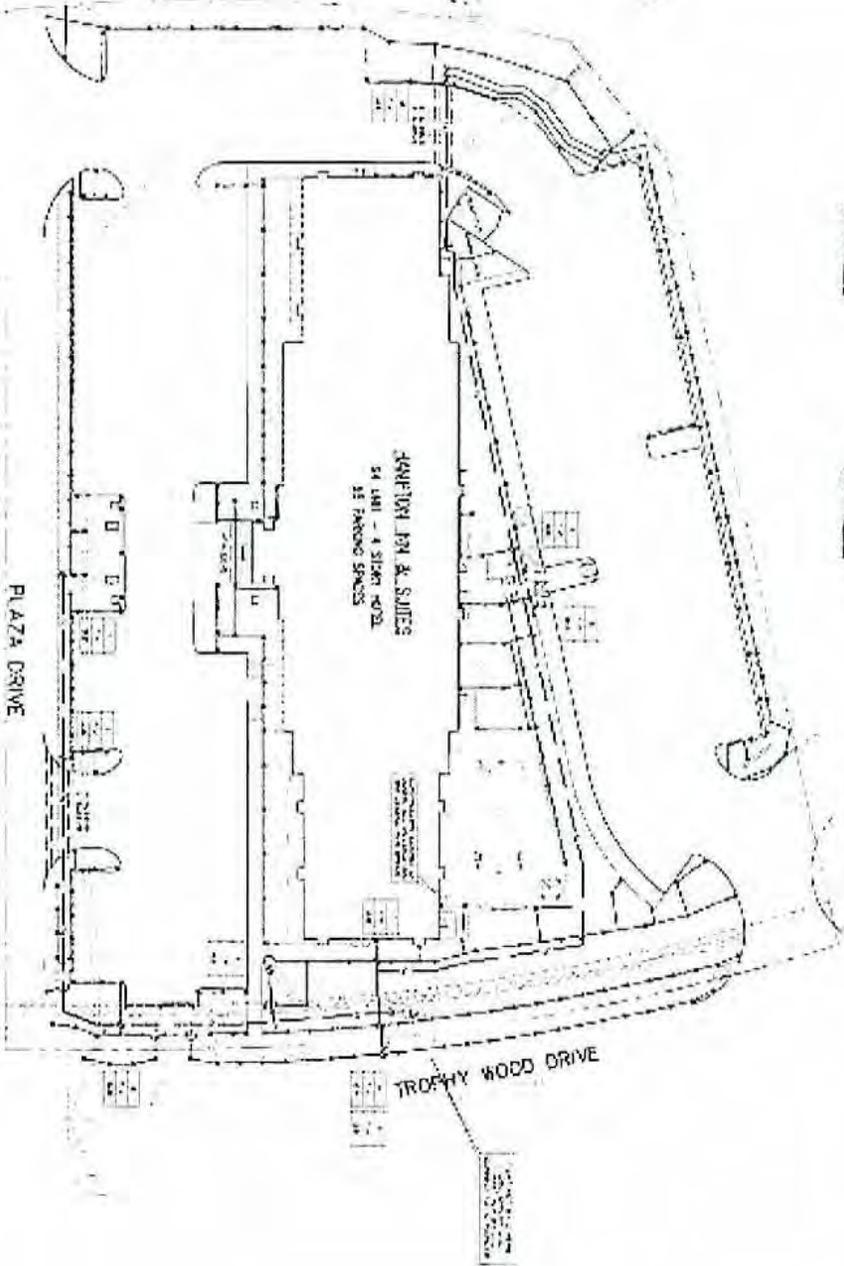


DESIGNED BY	JKA
DRAWN BY	WJF
CHECKED BY	JKA
DATE	11/11/2008

LANDSCAPE PLAN



TOWSON ENGINEERING, L.L.P.
 1200 N. Coward Highway, Suite 1078
 Dallas, Texas 75241
 Tel: 972.336.8400 Fax: 972.336.8405
 www.towson.com



LEGEND

Symbol	Description
(Symbol)	1" PEX
(Symbol)	1/2" PEX
(Symbol)	1/4" PEX
(Symbol)	1" PVC
(Symbol)	1/2" PVC
(Symbol)	1/4" PVC
(Symbol)	1" CPVC
(Symbol)	1/2" CPVC
(Symbol)	1/4" CPVC
(Symbol)	1" HDPE
(Symbol)	1/2" HDPE
(Symbol)	1/4" HDPE
(Symbol)	1" Galvanized Steel
(Symbol)	1/2" Galvanized Steel
(Symbol)	1/4" Galvanized Steel
(Symbol)	1" Cast Iron
(Symbol)	1/2" Cast Iron
(Symbol)	1/4" Cast Iron
(Symbol)	1" Copper
(Symbol)	1/2" Copper
(Symbol)	1/4" Copper
(Symbol)	1" Aluminum
(Symbol)	1/2" Aluminum
(Symbol)	1/4" Aluminum

NOTES

1. All piping shall be installed in accordance with the manufacturer's instructions.
2. All piping shall be supported at intervals of 4 feet.
3. All piping shall be protected from physical damage.
4. All piping shall be installed in a trench 18 inches deep.
5. All piping shall be installed in a trench 12 inches deep.
6. All piping shall be installed in a trench 6 inches deep.
7. All piping shall be installed in a trench 3 inches deep.
8. All piping shall be installed in a trench 1.5 inches deep.
9. All piping shall be installed in a trench 0.75 inches deep.
10. All piping shall be installed in a trench 0.375 inches deep.
11. All piping shall be installed in a trench 0.1875 inches deep.
12. All piping shall be installed in a trench 0.09375 inches deep.
13. All piping shall be installed in a trench 0.046875 inches deep.
14. All piping shall be installed in a trench 0.0234375 inches deep.
15. All piping shall be installed in a trench 0.01171875 inches deep.
16. All piping shall be installed in a trench 0.005859375 inches deep.
17. All piping shall be installed in a trench 0.0029296875 inches deep.
18. All piping shall be installed in a trench 0.00146484375 inches deep.
19. All piping shall be installed in a trench 0.000732421875 inches deep.
20. All piping shall be installed in a trench 0.0003662109375 inches deep.

DESIGN AND DEVELOPMENT APPROVALS

Prepared by: JAA
 Checked by: JAA
 Date: 10/15/08

L2

IRRIGATION PLAN

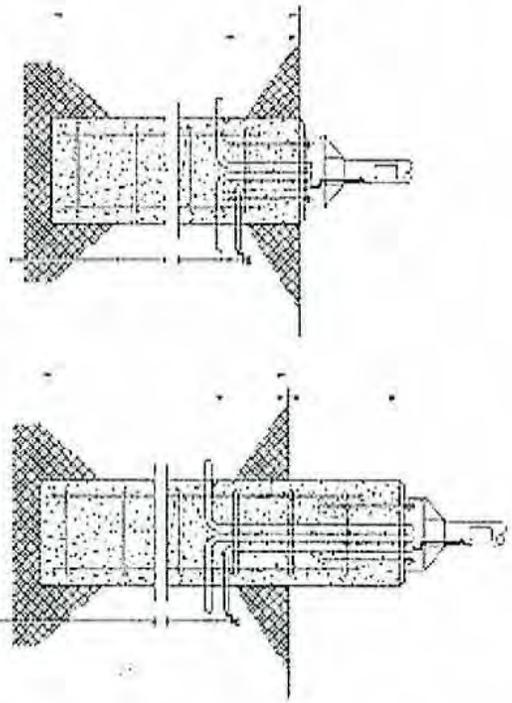


TOWSON ENGINEERING, S.L.P.
 1203 N. Central Expressway, Suite 107
 Dallas, Texas 75242
 P: 972.288.8444 F: 972.288.8445
 www.towson.com

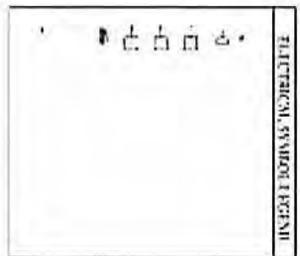
SHEWAN-ELECTRICAL

POST-LIGHT CONCRETE BASE

POST-LIGHT CONCRETE BASE



POOL FLAV - ELECTRICAL



ES1

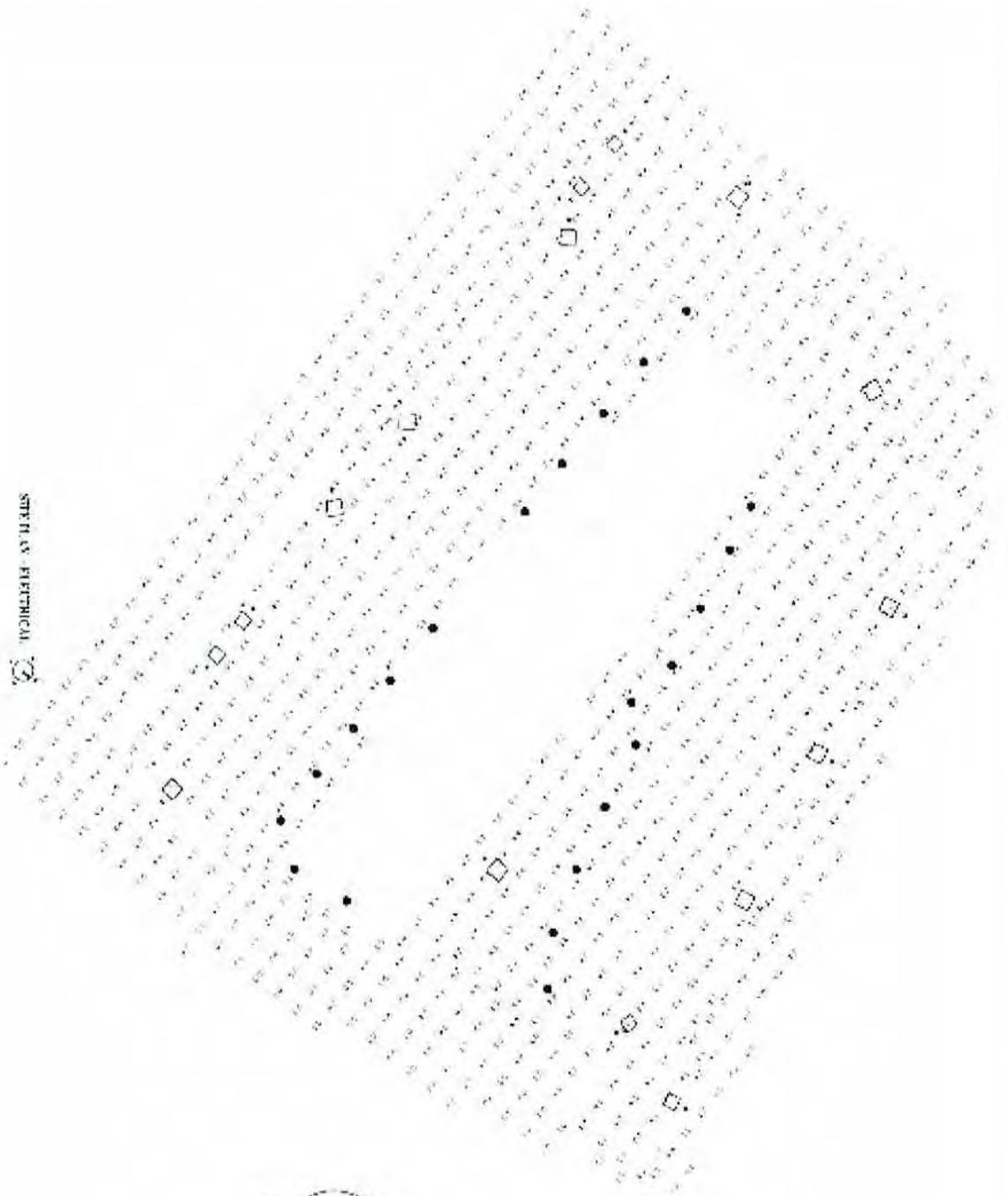
PROJECT: HAMPTON INN & SUITES
 91 UNITS, 4 STORIES
 TROPHY CLUB, TX

DATE: 08/11/08
 DRAWN BY: [illegible]
 CHECKED BY: [illegible]

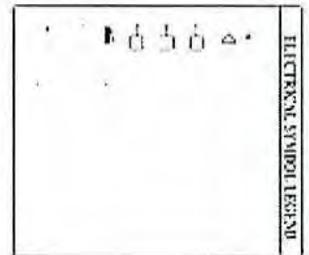
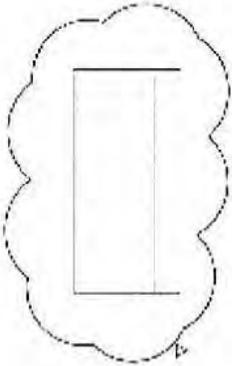
HAMPTON INN & SUITES
 91 UNITS, 4 STORIES
 TROPHY CLUB, TX

Lightowler Johnson
 Associates

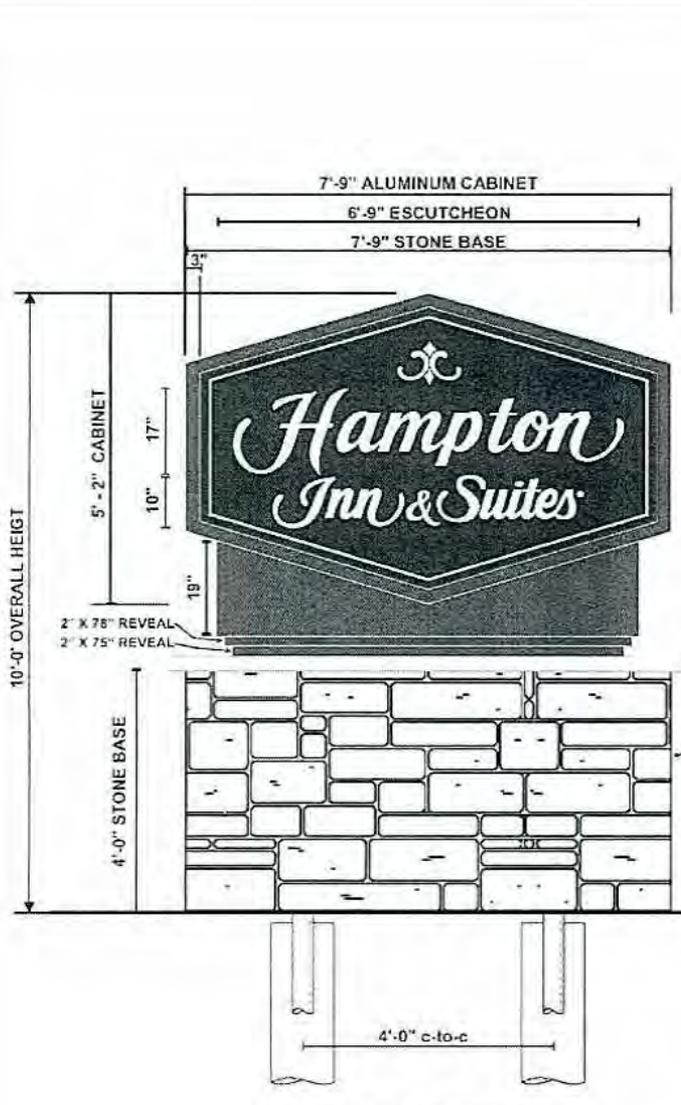
Lightowler Johnson
 Associates
 10000 N. CENTRAL EXPRESSWAY
 SUITE 1000
 DALLAS, TEXAS 75243
 TEL: 972.382.1000
 FAX: 972.382.1001
 WWW.LJA.COM



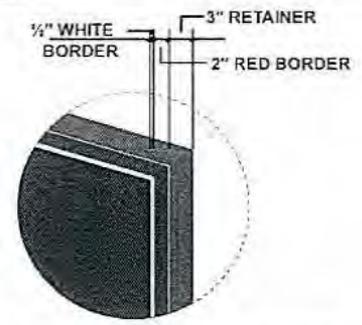
STPH. & ELECTRICAL



<p>PROJECT: ESS2</p>	<p>DATE: 11-1-11</p>	<p>PROJECT: HAMPTON INN & SUITES</p>	<p>HAMPTON INN & SUITES 91 UNITS, 4 STORIES TROPHY CLUB, TX</p>	<p>PROJECT: LIGHTBOWER JOHNSON ASSOCIATES</p>	<p>Lightbower Johnson Associates ARCHITECTS & ENGINEERS 10000 WEST 10TH STREET, SUITE 100 DALLAS, TEXAS 75243 TEL: 972.382.1000 FAX: 972.382.1001 WWW.LJA-ARCHITECTS.COM</p>
-----------------------------	----------------------	---	--	--	---



D/F HIS-40 MONUMENT SIGN
1/2"=1'-0"



BORDER DETAIL 3/4" = 1'-0"

.063" THK. FABRICATED D/F ALUM. SIGN CABINET - 3" RETAINERS & FILLER PAINTED TO MATCH PMS 425 GREY PAINT INSIDE CABINET LIGHT ENHANCING WHITE.

"WIDE" 3M 3630-53 RED VINYL OUTSIDE BORDER (OUT TO RETAINERS).

"NARROW" 3M 3650-10 OPAQUE WHITE VINYL INSIDE RED BORDER.

.150" THK. FLAT WHITE POLYCARBONATE FACE W/ 3M VTB 12674 OPAQUE BLUE VINYL APPLIED TO 1st SURFACE - LETTERS & GRAPHICS CUT OUT / WHITE SHOWS THRU.

COPY & CARTOUCHE TO BE WHITE SHO-THRU.

SIGN INTERNALLY ILLUMINATED W/800ma HIGH OUTPUT DAYLIGHT FLUORESCENT LAMPS.

(2) 4" DIA. STANDARD STEEL SUPPORT INSIDE FABRICATED .063" THK. ALUM BASE & SUPPORT COVER - PAINT TO MATCH PMS 425c GREY STIPPLE FINISH.

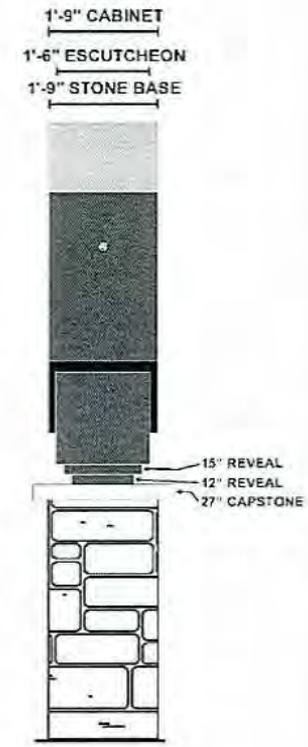
12" DIA. x 3'-0" DEEP CONCRETE PIER FOUNDATION. FOUNDATION SET 2" BELOW GRADE.

SUPPORT STEEL and FOUNDATION DESIGNED FOR 30 PSF WINDLOAD.

UNDERGROUND PRIMARY ELECTRICAL SERVICE FURNISHED TO SIGN BY CUSTOMER'S ELECTRICIAN. SIGN CONTRACTOR TO MAKE FINAL CONNECTION AS DETERMINED BY LOCAL SIGN ORDINANCES.

*** ACKEN SIGNS WILL ONLY BE PROVIDING THE MONUMENT SIGN, ESCUTCHEON, REVEALS AND SUPPORT STEEL.

*** FOUNDATION, SUPPORT STEEL AND SIGN COMPONENTS ARE TO BE SET BEFORE STONE AND MASONRY IS DONE.



END VIEW
1/2"=1'-0"

HIS-40M (CUSTOM BASE)

ACKEN SIGNS
PROFESSIONAL GRAPHIC DESIGN PARTNERS, LLC
1974 HOCKESSIN PIKE • ST. LOUIS, MO 63114
800.828.8888 • 314.771.9977

This is an original architectural drawing, created by Acken Signs. It is submitted for your personal use in connection with a project being planned for you by Acken Signs. It is not to be shown to anyone outside your organization. Not to be used, copied, printed, copied or exhibited in any manner.

DATE: 11.06.08
SCALE: AS NOTED
SALES: H. JONES
DRAWN BY: STROUP
CLIENT: HAMPTON INN & SUITES
LOCATION: TROPHY CLUB, TX
DRAWING #: HIS-Trophy Club TX-SIGN2

NOTES:

DATE:	REVISIONS:
11.05.08	CAVE STONE BASE.
11.06.08	MADE STONE BASE LARGER.

CUSTOMER APPROVAL: _____
DATE: _____

B

A

Hampton Inn & Suites

LINEAR BUILDING LETTERS NTS

SIGN NUMBER	A	B	C	AREA (SQ. FT.)
HIS BL36L	36"	27'-1"	x	81.25

LIGHT COLORED BUILDING

8" DEEP SELF CONTAINED CHANNEL LETTERS.
GE POWER SUPPLIES ARE MOUNTED TO INTERIOR
BACK OF LETTER.

SECONDARY OPTION:
5" DEEP CHANNEL LETTERS with REMOTE POWER SUPPLIES.

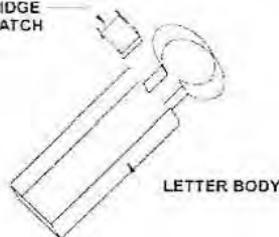
.040" THK. ALUM. RETURNS with .063 THK. ALUM.
CAD CUT BACKS. RETURNS PAINTED 313 DK. BRONZE.

.177" THK. 211-1 RED CYRO SG FACES.

1" DK. BRONZE JEWELITE RETAINER.

GELCORE TETRA RED/RED I.E.D. (5 PER FOOT).

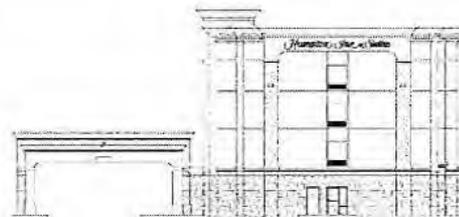
.040" THK. ALUM. BRIDGE
COVER. PAINT TO MATCH
WALL



TYPICAL BRIDGE DETAIL NTS



RIGHT ELEVATION 3/16 = 1'



RIGHT ELEVATION 1/32 = 1'

ACKEN SIGNS
A DIVISION OF HANCOCK SIGN SYSTEMS, INC.
PO BOX 1817-1976 HUNTSVILLE, TN 37401
HUNTSVILLE, TN 37401-1817

This is a technical drawing of a drawing, created by Acken Signs. It is submitted for your personal use in connection with a project being planned for you by Acken Signs. It is not to be shown to anyone outside your organization nor to be used, reproduced, copied or otherwise used in any way.

DATE: 11.17.08
SCALE: AS NOTED
SALES: H. JONES
DRAWN BY: KIMBLE
CLIENT: HAMPTON INN & SUITES
LOCATION: TROPHY CLUB, TN
DRAWING #: HIS-TrophyClub TN-CT2

NOTES:

DATE: REVISIONS:

CUSTOMER APPROVAL:

DATE:

Name	Sep-08	Oct-08	Nov-08	Dec-08	Jan-09	Feb-09	Mar-09	Apr-09	May-09	Jun-09	Jul-09	Aug-09	Sep-09	Oct-09	Nov-09	Dec-09	Jan-10	Feb-10	Mar-10
<i>Design</i>																			
Design Development	█																		
Final Drawings Submitted to Hilton Hotels			█																
<i>Construction</i>																			
Construction Bidding & Selection			█																
Permitting					█	█													
Building Construction						█													
Hotel Grand Opening																			█

Ord. 2008-40 P & Z Exhibit

TOWN OF TROPHY CLUB, TEXAS

ORDINANCE NO 2006-39

AN ORDINANCE OF THE TOWN OF TROPHY CLUB, TEXAS AMENDING ORDINANCE NO. 2002-41 P&Z, KNOWN AS PD PLANNED DEVELOPMENT DISTRICT NO. 25, TROPHY WOOD BUSINESS CENTER, EXHIBIT "C", "DEVELOPMENT STANDARDS", BY ADDING EXHIBIT "D" ENTITLED "SITE PLANS", TO ADOPT A DETAILED FINAL SITE PLAN FOR TRACT 5; PROVIDING FOR INCORPORATION OF PREMISES; PROVIDING A FINAL DETAILED SITE PLAN; PROVIDING A LANDSCAPE PLAN AND PLANT LIST; PROVIDING BUILDING ELEVATIONS; PROVIDING SITE LINE STUDIES; PROVIDING A PHOTOMETRIC PLAN AND LIGHT FIXTURE ILLUSTRATIONS; PROVIDING SIGN CRITERIA; PROVIDING RETAINING WALL AND FENCE CRITERIA; PROVIDING A DEVELOPMENT SCHEDULE; PROVIDING A SAVINGS AND REPEALER CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR ENGROSSMENT AND ENROLLMENT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH A VIOLATION OCCURS OR CONTINUES; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town Council of the Town of Trophy Club, Texas (the "Town"), is authorized and empowered by law, in accordance with Chapter 212 of the Texas Local Government Code, to regulate the subdivision of land and property development within the Town;

WHEREAS, on 2 December, 2002, the Town adopted Ordinance No. 2002-41 P&Z, amending Ordinance No. 2000-06 P&Z of the Town, the same being the Comprehensive Zoning Ordinance, and amending the official zoning map of the Town by changing the zoning on a certain tract of land described as a 16.0 acre tract of land located generally to the North of State Highway 114, West of T.W. King Road, and South of Hanna and Jamie Court, from its then current zoning of "CG", Commercial General, to PD Planned Development No. 25, Trophy Wood Business Center; and

WHEREAS, the developer of Tract 5 has requested an amendment to PD-25 for the purpose of seeking approval of a Final Detailed Site Plan, Landscape Plan and Plant List, Building Elevations, Sight Line Studies, Photometric Plan and Light Fixture Illustrations, Sign Criteria, Retaining Wall & Fence Criteria, and a Development Schedule, for Tract 5.

WHEREAS, all legal notices, requirements and conditions having been complied with, the case to rezone the Land came before the Planning and Zoning Commission; and

WHEREAS, after public notices were given in compliance with State law and public hearings were conducted, and after considering the information submitted at those public hearings and all other relevant information and materials, the Planning and Zoning Commission of the Town has recommended to the Town Council the adoption of the amendments to Ordinance No. 2002-41 P&Z as set forth in this Ordinance; and

WHEREAS, after complying with all legal notices, requirements, and conditions, a public hearing was held before Town Council at which the Town Council considered, among other things, the character of the land and its suitability for particular uses, with a view of encouraging the most appropriate use of land in the Town, and does hereby find that the rezoning approved hereby accomplishes such objectives; and

WHEREAS, the Town Council has determined that there is a necessity and need for the change in zoning and that the proposed change is consistent with the Comprehensive Land Use Plan.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF TROPHY CLUB:

**SECTION 1.
INCORPORATION OF PREMISES**

That the above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

**SECTION 2.
AMENDMENT**

Ordinance No. 2002-41 P&Z of the Town of Trophy Club, Texas, the same being PD Planned Development No. 25, Trophy Wood Business Center, is hereby amended in the following particulars, and all other articles, chapter, sections, paragraphs, sentence, phrases and words are not amended by are hereby ratified and affirmed.

- A. Final Detailed Site Plan: A Final Detailed Site Plan for the Land, and all parts therefore, is attached hereto as Exhibit "5.1", Final Detailed Site Plan, and incorporated herein as if copied in its entirety. The Final Detailed Site Plan shall be adhered to in carrying out the development of the land and compliance with each and every part of such Final Detailed Site Plan shall constitute as a condition precedent to the issuance of any building permit for the land in the PD Planned Development District.
- B. Landscape Plan & Plant List: The landscape plan and plant list for Tract 5 of this PD Planned Development are attached hereto as Exhibit "5.2", "Landscape Plan and Plant List", and are incorporated herein as if copied in their entirety.
- C. Building Elevations. The building elevations for Tract 5 of this PD Planned Development are attached hereto as Exhibit "5.3", "Building Elevations", and are incorporated herein as if copied in their entirety.
- D. Site Line Studies. The site line studies for Tract 5 of this PD Planned Development are attached hereto as Exhibit "5.4", "Site Line Studies", and are incorporated herein as if copied in their entirety.
- E. Photometric Plan and Light Fixtures. A photometric plan and light fixture requirements for Tract 5 of this PD Planned Development are set forth in Exhibit "5.5", "Photometric Plan and Light Fixtures", which is attached hereto and incorporated herein as if copied in its entirety.
- F. Sign Criteria. Signage requirements for Tract 5 of this PD Planned Development are set forth in Exhibit "5.6", "Sign Criteria", which is attached and incorporated herein as if copied in its entirety.
- G. Retaining Wall and Fence Criteria. The retaining wall and fence requirements for Tract 5 of this PD Planned Development are set forth in Exhibit "5.7", "Retaining Wall and Fence Criteria", which is attached hereto and incorporated herein as if copied in its entirety.

- H. Development Schedule. The development schedule for Tract 5 of this PD Planned Development is set forth in Exhibit "5.8", "Development Schedule", which is attached hereto and incorporated herein as if copied in its entirety.

**SECTION 3.
SAVINGS AND REPEALER**

That this Ordinance shall be cumulative of all other Ordinances of the Town affecting the PD-25 and shall not repeal any of the provisions of such Ordinances except in those instances where provisions of those Ordinances are in direct conflict with the provisions of this Ordinance; whether such Ordinances are codified or uncodified, and all other provisions of the Ordinances of the Town of Trophy Club, codified or uncodified, not in conflict with the provisions of this Ordinance, shall remain in full force and effect. Notwithstanding the foregoing, any complaint, action, cause of action or claim which prior to the effective date of this Ordinance has been initiated or has arisen under or pursuant to such repealed Ordinance(s) shall continue to be governed by the provisions of that Ordinance and for that purpose the Ordinance shall be deemed to remain and continue in full force and effect.

**SECTION 4.
SEVERABILITY**

If any section, article, paragraph, sentence, clause, phrase or word in this Ordinance, or application thereof to any person or circumstance, is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of the Ordinance, and the Town Council hereby declares it would have passed such remaining portions of the Ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

**SECTION 5.
ENROSSMENT AND ENROLLMENT**

The Town Secretary of the Town of Trophy Club is hereby directed to engross and enroll this Ordinance by copying the exact Caption and Effective Date clause in the minutes of the Town Council of the Town of Trophy Club and by filing this Ordinance in the Ordinance records of the Town.

**SECTION 6.
PENALTY**

It shall be unlawful for any person to violate any provision of this Ordinance, and any person violating or failing to comply with any provision of this Ordinance shall be fined, upon conviction, not less than One Dollar (\$1.00) nor more than Two Thousand Dollars (\$2,000.00), and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

**SECTION 7.
EFFECTIVE DATE**

This Ordinance shall take effect from and after its date of passage in accordance with law, and it is so ordained.

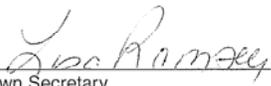
PASSED AND APPROVED by the Town Council of the Town of Trophy Club, Texas, this 2nd day of October, 2002.

ATTEST:





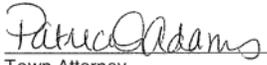
Mayor
Town of Trophy Club, Texas



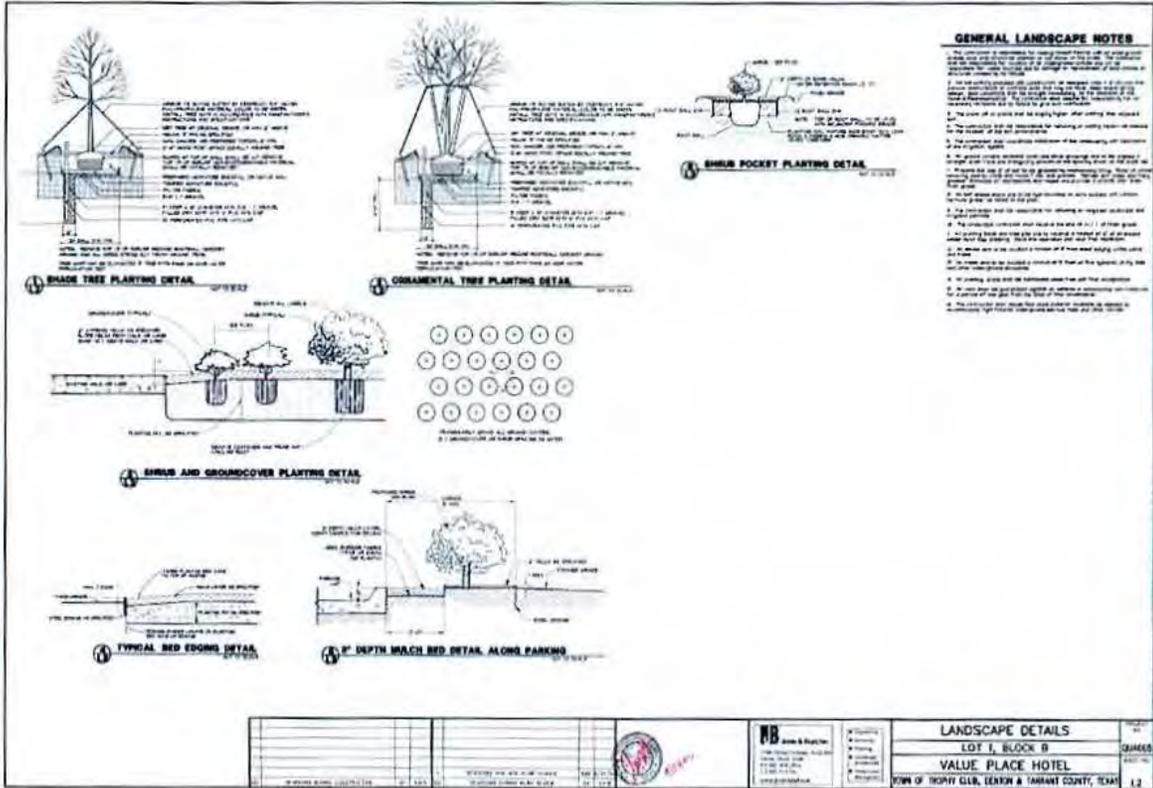
Town Secretary
Town of Trophy Club, Texas

[SEAL]

APPROVED AS TO FORM:



Town Attorney
Town of Trophy Club, Texas



GENERAL LANDSCAPE NOTES

1. The contractor is responsible for verifying the location of all existing utilities and for marking them before any excavation or planting work begins.
2. All plants shall be installed in accordance with the specifications and shall be installed in the ground in a manner that will ensure their long-term survival.
3. The contractor shall provide all necessary irrigation and watering for all plants until they are established.
4. All plants shall be installed in a manner that will ensure their long-term survival and shall be installed in the ground in a manner that will ensure their long-term survival.
5. The contractor shall provide all necessary irrigation and watering for all plants until they are established.
6. All plants shall be installed in a manner that will ensure their long-term survival and shall be installed in the ground in a manner that will ensure their long-term survival.
7. The contractor shall provide all necessary irrigation and watering for all plants until they are established.
8. All plants shall be installed in a manner that will ensure their long-term survival and shall be installed in the ground in a manner that will ensure their long-term survival.
9. The contractor shall provide all necessary irrigation and watering for all plants until they are established.
10. All plants shall be installed in a manner that will ensure their long-term survival and shall be installed in the ground in a manner that will ensure their long-term survival.

LANDSCAPE DETAILS		DATE
LOT 1, BLOCK B		04/14/2015
VALUE PLACE HOTEL		PROJECT NO.
TOWN OF TROY, TEXAS, TARRANT COUNTY, TEXAS		12



LOCATION MAP
SHEET 13-14



- PLANT KEY/LEGEND/LIST**
- EXISTING PROTECTED TREE TO BE MAINTAINED
 - EXISTING PROTECTED TREE TO BE REMOVED
 - EXISTING TREE TO BE SAVED
 - EXISTING ORNAMENTAL LANDSCAPE
 - PROPOSED ORNAMENTAL LANDSCAPE
 - EXISTING BUSH AND SHRUB TREES
 - NEW TREE: BUSH, TREE, SHRUB/CLIMBER

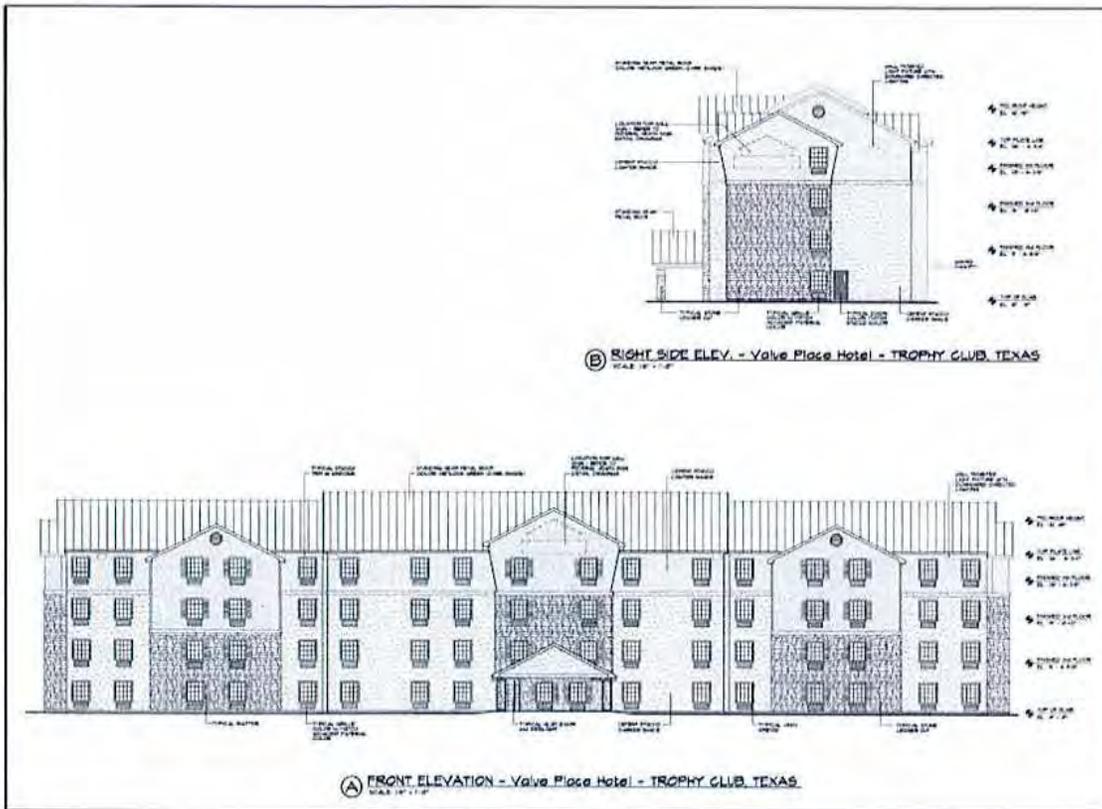
THE CONTRACTOR AND RETIREEE APPROVED HERE AT OUR OFFICE HAVE REVIEWED THE PLANS AND SPECIFICATIONS AND HAVE FOUND THEM TO BE IN ACCORDANCE WITH THE CITY OF BOYD, TEXAS, ORDINANCES AND REGULATIONS GOVERNING THE PROPOSED DEVELOPMENT OF THIS PROJECT.



RB
Aust & Boyd, Inc.
Surveyors
1000 West 10th Street
Arling, Texas 76010
409.392.1111
www.austandboyd.com

TREE SURVEY		DATE
LOT 1, BLOCK B		04/23/13
VALUE PLACE HOTEL		04/23/13
TOWN OF BOYD, CLERK, BOYD & TARRANT COUNTY, TEXAS		13

Exhibit "5.3"
Building Elevations

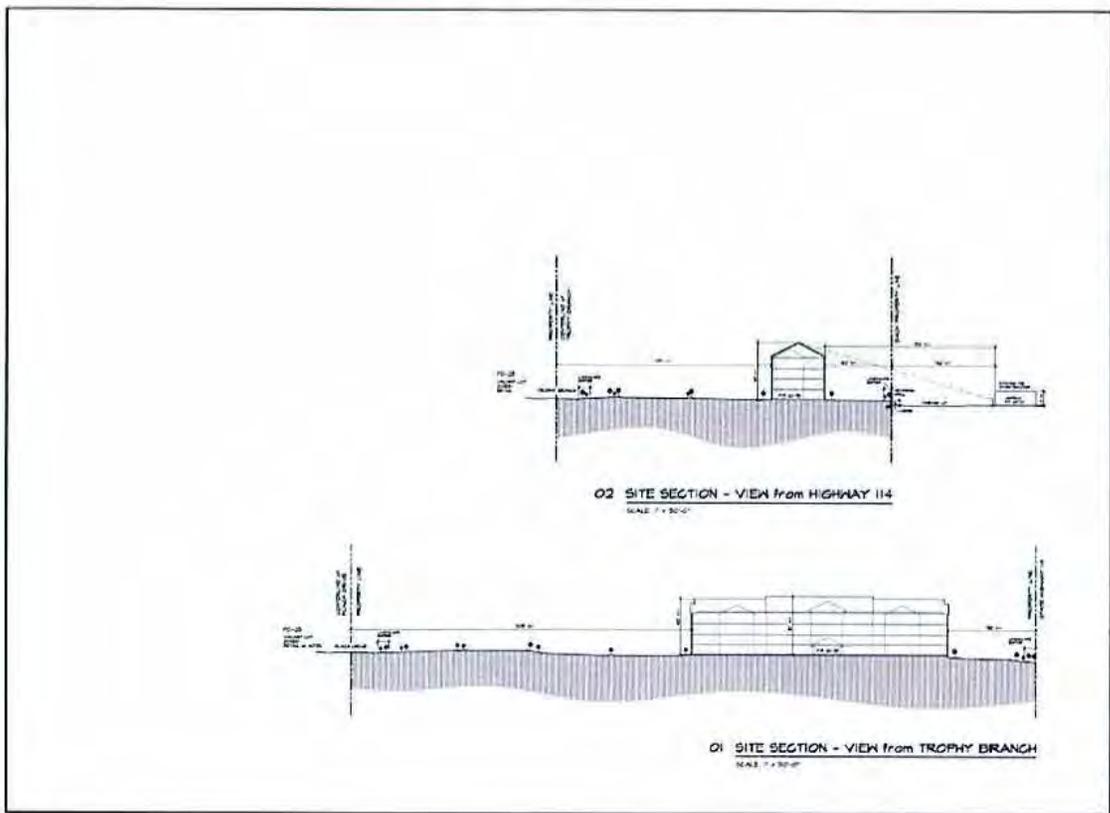


VALUE PLACE HOTEL
TROPHY BRANCH OFFICE AND PLAZA OFFICE
TROPHY CLUB TEAR

IKEMIRE ARCHITECTS
ARCHITECTS AND PLANNERS
10000 W. HIGHTWAY 190, SUITE 100, DALLAS, TEXAS 75244

A1
08.13.2009

Exhibit "5.4"
Sight Line Studies

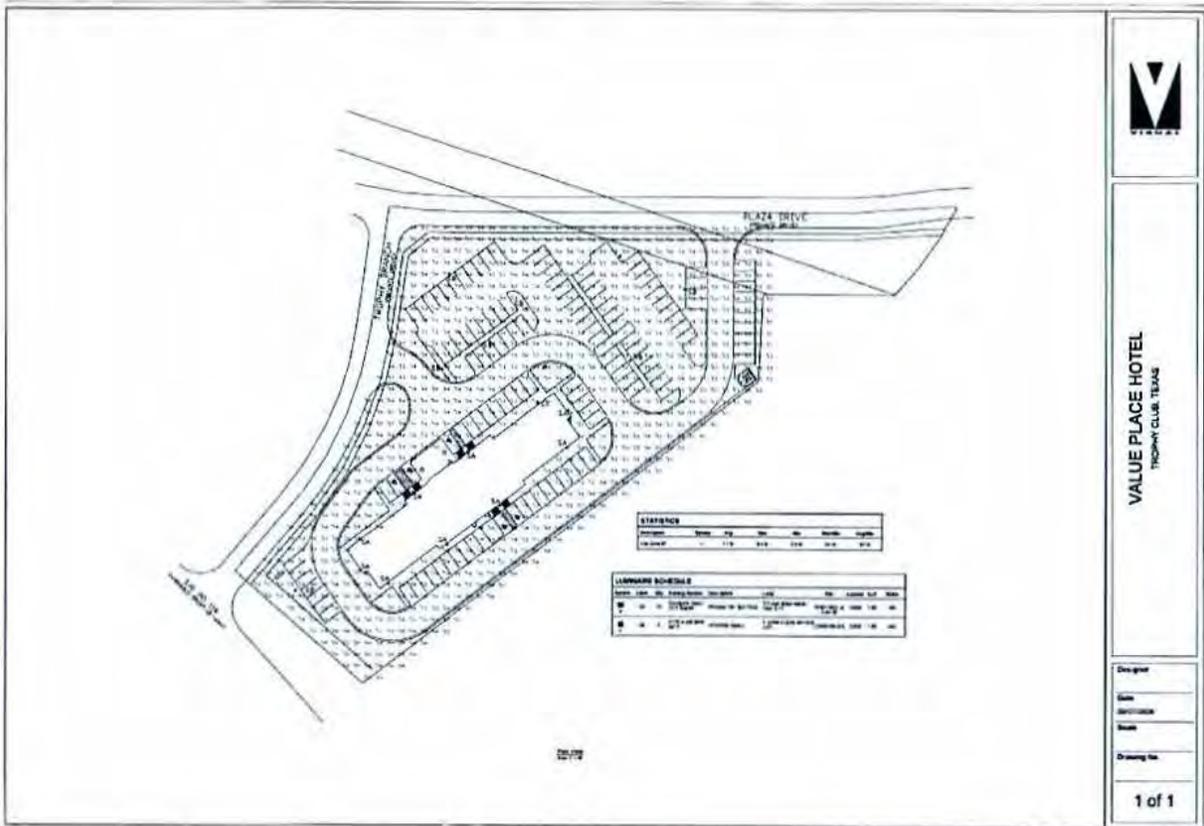


VALUE PLACE HOTEL
TROPHY BRANCH DRIVE AND PLAZA DRIVE
REPORT DATE: 12/08

IKEMIRE ARCHITECTS
ARCHITECTURE PLANNING INTERIORS
1000 BROADWAY, SUITE 1100, NEW YORK, NY 10018-1100
TEL: 212-512-1100

S1

Exhibit "5.5"
Photometric Plan & Light Fixtures



CITATION Copyright information is provided for U.S. Patent No. 6,884,075

NOISING - One-piece aluminum, available in white, charcoal, and large. Corners are welded and finished to produce a clean, sharp appearance and increasing bearing strength and ensuring excellent light transmission.

ROOF FRAME - Aluminum, with the option of stainless steel roof fasteners to provide secure closure and easy access with no loss of light.

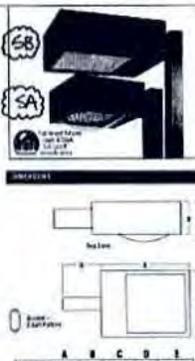
LENS/CASSET - Clear, low-iron glass lens (CTH, CTM, CTJ) and a reinforced clear tempered glass lens (CTV) are offered for the lens frame with CTDM glazing. The new 1/2" low-iron, clear glass continues glass for maximum lighting to the housing.

SOCKETS - Feature magnetic sockets. All sockets are pin-tight.

LIGHT SOURCES - Power-Start Metal Halide, Super Metal Halide, Super Metal Halide, Power-Start Metal Halide, Super Metal Halide, Metal Halide, and High Pressure Sodium. Clear strip is supplied as standard.

BALLASTS - High-output factor ballast. Power-Start Metal Halide ballast features a Super Link type ballast. Super Metal Halide, Metal Halide, and High Pressure Sodium ballast features Super Link type ballast. All ballasts are designed for 120° F operation and are mounted to the housing according to the instructions.

REFLECTOR DISTRIBUTION PATTERNS - Five reflector patterns and distribution patterns are available with the Custom Assembly of 140, Type 30, 35, 40, 45, 50, and 55. These patterns are designed to provide uniform distribution of light and produce a clean, bright beam. Type 30, 35, 40, 45, 50, and 55 are available with a clear lens. Type 30, 35, 40, 45, 50, and 55 are available with a clear lens. Type 30, 35, 40, 45, 50, and 55 are available with a clear lens. Type 30, 35, 40, 45, 50, and 55 are available with a clear lens.



	A	B	C	D	E
CTH	22 1/2"	8"	18 1/2"	8"	11 1/2"
CTM	22 1/2"	8"	18 1/2"	8"	11 1/2"
CTJ	22"	8"	18 1/2"	8"	11 1/2"

Model	CTH	CTM	CTJ	CTV	CTD
140	1.1	1.1	1.1	1.1	1.1
30	1.1	1.1	1.1	1.1	1.1
35	1.1	1.1	1.1	1.1	1.1
40	1.1	1.1	1.1	1.1	1.1
45	1.1	1.1	1.1	1.1	1.1
50	1.1	1.1	1.1	1.1	1.1
55	1.1	1.1	1.1	1.1	1.1

FIGURE 1 Each fixture is finished with a clear, durable, powder-coated finish. The fixture is designed to be mounted to a wall or ceiling without the need for a mounting bracket. The fixture is designed to be mounted to a wall or ceiling without the need for a mounting bracket.

PHOTOMETRICS - Please visit our website at www.3i-illuminance.com for detailed photometric data.

Model	CTH	CTM	CTJ	CTV	CTD
140	1.1	1.1	1.1	1.1	1.1
30	1.1	1.1	1.1	1.1	1.1
35	1.1	1.1	1.1	1.1	1.1
40	1.1	1.1	1.1	1.1	1.1
45	1.1	1.1	1.1	1.1	1.1
50	1.1	1.1	1.1	1.1	1.1
55	1.1	1.1	1.1	1.1	1.1

VALUE PLACE HOTEL

CITATION Copyright information is provided for U.S. Patent No. 6,884,075

Model	CTH	CTM	CTJ	CTV	CTD
140	1.1	1.1	1.1	1.1	1.1
30	1.1	1.1	1.1	1.1	1.1
35	1.1	1.1	1.1	1.1	1.1
40	1.1	1.1	1.1	1.1	1.1
45	1.1	1.1	1.1	1.1	1.1
50	1.1	1.1	1.1	1.1	1.1
55	1.1	1.1	1.1	1.1	1.1

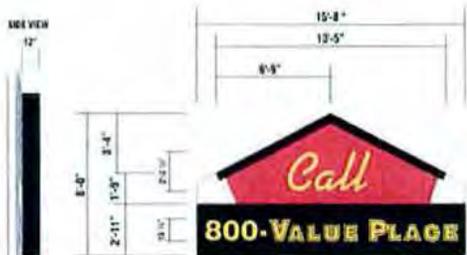
Model	CTH	CTM	CTJ	CTV	CTD
140	1.1	1.1	1.1	1.1	1.1
30	1.1	1.1	1.1	1.1	1.1
35	1.1	1.1	1.1	1.1	1.1
40	1.1	1.1	1.1	1.1	1.1
45	1.1	1.1	1.1	1.1	1.1
50	1.1	1.1	1.1	1.1	1.1
55	1.1	1.1	1.1	1.1	1.1

FIGURE 2 Each fixture is finished with a clear, durable, powder-coated finish. The fixture is designed to be mounted to a wall or ceiling without the need for a mounting bracket. The fixture is designed to be mounted to a wall or ceiling without the need for a mounting bracket.

PHOTOMETRICS - Please visit our website at www.3i-illuminance.com for detailed photometric data.

Model	CTH	CTM	CTJ	CTV	CTD
140	1.1	1.1	1.1	1.1	1.1
30	1.1	1.1	1.1	1.1	1.1
35	1.1	1.1	1.1	1.1	1.1
40	1.1	1.1	1.1	1.1	1.1
45	1.1	1.1	1.1	1.1	1.1
50	1.1	1.1	1.1	1.1	1.1
55	1.1	1.1	1.1	1.1	1.1

TROPHY CLUB, TEXAS



ELECTRICAL REQUIREMENTS

1-20 AMP CIRCUIT DEDICATED
STUBBED OUT IN THE MIDDLE
OF THE SIGN.
FINAL HOOK UP BY SIGN INSTALLERS

SPECIFICATIONS:

1. STRUCTURE IS TO BE 1" MILLIKEN TUBING STAFFL SYSTEM. THE FACE IS ARLON W/ BACKGROUND W/ ARLON VINYL'S APPLIED. THE BACK IS WHITE OPAQUE BANIER FABRIC. THE SIDES ARE SKINNED W/ PRE FINISHED .063 BLACK ALUM. (NO RETAINERS)
2. INTERNALLY ILLUMINATED BY H.O. LAMPS. ONE 12" SPREAD DOUBLE TOWARD THE BOTTOM AND ONE 4" SPREAD DOUBLE TO LIGHT UP THE WORD "CALL". THE RED AND WHITE PORTION OF THE FACE WILL BE COMPLETELY OPAQUE AT NIGHT.
3. ALL COPY IS ARLON #25 TRANSLUCENT YELLOW. BACK OPAQUE VINYL IN-LINE OR "VALUE PLACE", WHITE, BLACK & RED (ARLON #226) AREAS TO BE OPAQUE VINYL APPLICATION.
4. (8) 2" X 2" ANGLE CLIPS FOR MOUNTING.

#125 WALL SIGN CABINET STRUCTURE (FLEX FACE 2) Geo sqft = 94.7

SCALE: 1/4" = 1'-0"



FEDERAL MEATH SIGN COMPANY
4100 Northway 171
Buckley, TX 75008
(972) 486-9578 Fax (972) 486-9558

1000 West Highway
Columbus, GA 31906
Tampa, FL 33607
Houston, TX 77001
Dallas, TX 75201
Denver, CO 80202
Chicago, IL 60601

Ability to copy up to 1000 copies

Project: _____
Client: _____
Address: _____
City: _____
State: _____
Zip: _____

Project By: **DEE WALLACE**
Project Manager: **WAYNE RASOR**
Project Engineer: **PETER CARDINAL**

Project Name: **800-VALUE PLACE**

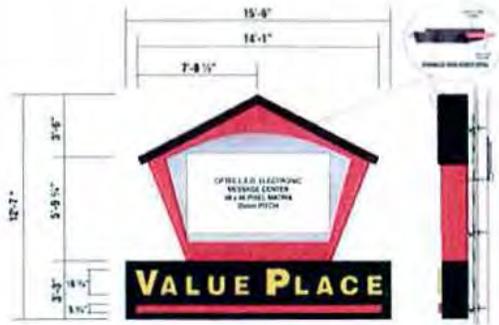
Client: **TROPHY CLUB, TX**

Project Address: _____
City: _____
State: _____
Zip: _____

Project Description: _____

Project Status: _____

Project Date: **TROPHY CLUB, TX**
Date: **6-20-2006**
Project No: **3** of **7**
Project Code: **P54-001**



SPECIFICATIONS

1. ALUMINUM TOP SECTION: PAINTED FLAT BLACK WITH 15mm CLEAR RED NEGON BORDER IN A CHANNEL. CHANNEL SECTION IS 4" DEEP WITH INTERIOR EXTERIOR PAINTED BLACK.
2. ALUMINUM CENTER CABINET: PAINTED TO MATCH PMS-106 RED WITH 15mm CLEAR RED NEGON BORDER ON FACE IN A CHANNEL. CHANNEL SECTION IS 4" DEEP WITH INTERIOR EXTERIOR PAINTED TO MATCH PMS-106 RED.
3. CENTER SECTION OF CABINET IS PAINTED SILVER METALLIC WITH SPECIFIC ELECTRONIC MESSAGE UNIT BE CALLED INTO CABINET SECTION.
4. LOWER "VALUE PLACE" IS CABINET:
 - A. CABINET FACE AND FILLER PAINTED FLAT BLACK WITH PMS-PROCESS YELLOW C.
 - B. VALUE PLACE, OPEN FACE CHANNEL LETTERS.
 - C. 4" DEEP ALUMINUM RETURN PAINTED TO MATCH PMS-PROCESS YELLOW C.
 - D. INTERNALLY ILLUM. WITH SINGLE STROKE CLEAR GOLD NEGON.
 - E. EXTERNALLY ILLUMINATED WITH SINGLE STROKE CLEAR GOLD NEGON ALONG OUTSIDE OF LETTERS.
 - F. 1/8" REGISTRATION MARK IS YELLOW #83 VINYL OVERLAY.
5. RED STRIPE CHANNEL STRUCTURE:
 - A. 4" DEEP ALUMINUM RETURN PAINTED TO MATCH PMS-106 RED WITH RED TRIM CAP RETAINER.
 - B. FACE AND FILLER TRANSLUCENT WHITE PLASTIC WITH #83 REGAL RED VINYL OVERLAY.
 - C. INTERNALLY ILLUMINATED WITH 15mm CLEAR RED NEGON.



SIGN TYPE	#200
MESSAGE CENTER	02196
PITCH	25mm
LED MODEL	2020 RGB
CABINET SIZE	4'-4 1/4" H x 4'-8" W
PRIMARY	AC 120 VOLT 50/60Hz
CIRCUITS FOR LED	3-20 AMP
CIRCUIT BREAKERS	200W 2 Pole Breaker (200 W)
CIRCUITS FOR NEGON	2-20 AMP
TOTAL CIRCUITS	5-20 AMP

APPX WEIGHT - 1000 LB

- PS** Primary electrical service and the CATS.
- CS** Data cabinet face to be in separate conduit and the conduits have to be separated underground by at least 12".

#200 WALL SIGN CABINET STRUCTURE

Geo sqft = 138.64

SCALE: 1/4" = 1'-0"

FEDERAL HEATH SIGN COMPANY

1300 North Loop West
Houston, TX 77007
(817) 425-1070, Fax (817) 425-1122

© 2007 Federal Heath Sign Company
Houston, TX 77007
Federal Heath Sign Company
Houston, TX 77007

Working Drawing: Signage for Trophy Club

Project: Trophy Club

Client: Trophy Club

Designer: Peter Cardinal

Checker: Peter Cardinal

Printer: Peter Cardinal

Date: 10/20/2006

Drawn by: Peter Cardinal

Checked by: Peter Cardinal

Approved by: Peter Cardinal

Project: Trophy Club

Client: Trophy Club

Designer: Peter Cardinal

Checker: Peter Cardinal

Printer: Peter Cardinal

Date: 10/20/2006

Drawn by: Peter Cardinal

Checked by: Peter Cardinal

Approved by: Peter Cardinal

Project: Trophy Club

Client: Trophy Club

Designer: Peter Cardinal

Checker: Peter Cardinal

Printer: Peter Cardinal

Date: 10/20/2006

Drawn by: Peter Cardinal

Checked by: Peter Cardinal

Approved by: Peter Cardinal

Project: Trophy Club

Client: Trophy Club

Designer: Peter Cardinal

Checker: Peter Cardinal

Printer: Peter Cardinal

Date: 10/20/2006

Drawn by: Peter Cardinal

Checked by: Peter Cardinal

Approved by: Peter Cardinal

Project: Trophy Club

Client: Trophy Club

Designer: Peter Cardinal

Checker: Peter Cardinal

Printer: Peter Cardinal

Date: 10/20/2006

Drawn by: Peter Cardinal

Checked by: Peter Cardinal

Approved by: Peter Cardinal

Project: Trophy Club

Client: Trophy Club

Designer: Peter Cardinal

Checker: Peter Cardinal

Printer: Peter Cardinal

Date: 10/20/2006

Drawn by: Peter Cardinal

Checked by: Peter Cardinal

Approved by: Peter Cardinal

Project: Trophy Club

Client: Trophy Club

Designer: Peter Cardinal

Checker: Peter Cardinal

Printer: Peter Cardinal

Date: 10/20/2006

Drawn by: Peter Cardinal

Checked by: Peter Cardinal

Approved by: Peter Cardinal

Project: Trophy Club

Client: Trophy Club

Designer: Peter Cardinal

Checker: Peter Cardinal

Printer: Peter Cardinal

Date: 10/20/2006

Drawn by: Peter Cardinal

Checked by: Peter Cardinal

Approved by: Peter Cardinal

Project: Trophy Club

Client: Trophy Club

Designer: Peter Cardinal

Checker: Peter Cardinal

Printer: Peter Cardinal

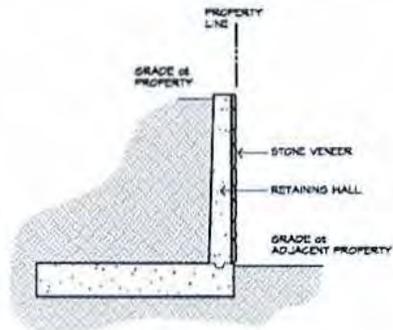
Date: 10/20/2006

Drawn by: Peter Cardinal

Checked by: Peter Cardinal

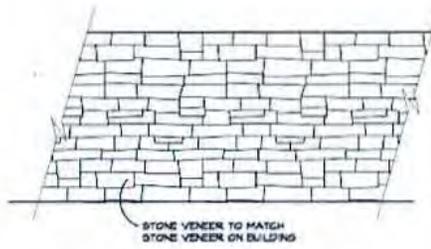
Approved by: Peter Cardinal

Exhibit "5.7"
Retaining Wall & Fence Criteria



RETAINING WALL SECTION

SCALE: 1/2" = 1'-0"



RETAINING WALL ELEVATION

SCALE: 1/2" = 1'-0"

RETAINING WALL - SOUTH END of SITE at HIGHWAY 114
VALUE PLACE HOTEL TROPHY CLUB, TEXAS

Exhibit "5.7" Development Schedule

Preliminary Project Schedule

Sept 14 2006
Revision 4

Value Place Hotel - Trophy Club
Proj ID: QUA 005

Task	Date	
Replat (Lot 1R & 2R) + Rezoning Pckg. Preparation	6/05/2006 - 6/16/2006	Complete
Replat + Zoning change submittal (45 days prior to meeting)	6/19/2006	Complete
Site Development Plans Prep.-CIVIL (City requires Site Plan submittal)	6/19/2006 - 7/14/2006	Complete
Civil Design Package submittal	7/17/2006	Complete
Planning & Zoning Meeting (Replat + Zoning)	8/3/2006	Complete
City Council Meeting (Replat + Zoning)	8/21/2006	Complete
Address any engineering comments-CIVIL	8/21/2006 - 9/08/2006	Complete
Detailed Site Plan submittal	8/18/2006	Complete
Planning & Zoning Meeting (Detailed Site Plan)	9/21/2006	
City Council Meeting (Detailed Site Plan)	10/2/2006	
Submit for Permit	1 week of November	
Building Permit Issued (approx. date)	3rd week of November	
Pre-construction meeting (approx. date)	4th week of November	
Begin construction on site	Last week of November	
Onsite construction work to be completed in 6 months from City approved start date		
Apply for Certificate of Occupancy	1st week of June	

Note:

Project construction to begin approx. last week of November 2006 per Town approvals of all design plans and general contractor to obtain permits and permission on project from Trophy Club prior to work onsite.

TOWN OF TROPHY CLUB, TEXAS

ORDINANCE NO. 2015-44 P&Z

AN ORDINANCE OF THE TOWN OF TROPHY CLUB, TEXAS AMENDING ORDINANCE NO. 2002-41 P&Z, KNOWN AS PD PLANNED DEVELOPMENT DISTRICT NO. 25, TROPHY WOOD BUSINESS CENTER, BY ADOPTING EXHIBIT "D" ENTITLED "TRACT 3 DEVELOPMENT PLANS ", TO ADOPT EXHIBITS 3-1 THROUGH 3-6 TO EXHIBIT "D-3" FOR LOT 2R-2, BLOCK B, TROPHY WOOD ADDITION (TRACT 3) AS SET FORTH IN IN EXHIBITS 3-1 THROUGH 3-6 TO EXHIBIT "D-3"; PROVIDING FOR INCORPORATION OF PREMISES; PROVIDING FOR AMENDMENTS TO ADOPT EXHIBITS 3-1 THROUGH 3-6 PROVIDING A FINAL DETAILED SITE PLAN, A LANDSCAPE PLAN AND PLANT LIST, BUILDING ELEVATIONS, SITE LINE STUDIES, AND A PHOTOMETRIC PLAN; PROVIDING FOR AN AMENDMENT TO THE COMPREHENSIVE ZONING ORDINANCE OF THE TOWN; PROVIDING APPLICABLE REGULATIONS; PROVIDING A SAVINGS AND REPEALER CLAUSE; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH A VIOLATION OCCURS OR CONTINUES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR PUBLICATION; PROVIDING FOR ENGROSSMENT AND ENROLLMENT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town Council of the Town of Trophy Club, Texas (the "Town"), is authorized and empowered by law, in accordance with Chapter 212 of the Texas Local Government Code, to regulate the subdivision of land and property development within the Town; and

WHEREAS, on 2 December, 2002, the Town adopted Ordinance No. 2002-41 P&Z, amending Ordinance No. 2000-06 P&Z of the Town, the same being the Comprehensive Zoning Ordinance, and amending the official zoning map of the Town by changing the zoning on a certain tract of land described as a 16.0 acre tract of land located generally to the North of State Highway 114, West of T.W. King Road, and South of Hanna and Jamie Court, from its then current zoning of "CG", Commercial General, to PD Planned Development No. 25, Trophy Wood Business Center; and

WHEREAS, the developer of Lot 2R-2, Block B, Trophy Wood Business Center (Tract 3) has requested an amendment to PD-25 for the purpose of seeking approval of a Final Detailed Site Plan, Landscape Plan and Plant List, Building Elevations, Sight Line Studies, Photometric Plan, for Lot 2R-2, Block B, Trophy Wood Business Center (Tract 3) and such amendments are set forth herein and in Exhibits 3-1 through 3-6 to Exhibit "D-3, entitled "Tract 3 Development Plans", and

WHEREAS, all legal notices, requirements and conditions having been complied with, the case to rezone the Land came before the Planning and Zoning Commission; and

WHEREAS, after public notices were given in compliance with State law and public hearings were conducted, and after considering the information submitted at those public hearings and all other relevant information and materials, the Planning and Zoning Commission of the Town has recommended to the Town Council the adoption of the amendments to Ordinance No. 2002-41 P&Z as set forth in this Ordinance; and

WHEREAS, after complying with all legal notices, requirements, and conditions, a public hearing was held before Town Council at which the Town Council considered, among other things, the character of the land and its suitability for particular uses, with a view of encouraging the most appropriate use of land in the Town, and does hereby find that the rezoning approved hereby accomplishes such objectives; and

WHEREAS, the Town Council has determined that there is a necessity and need for the change in zoning and that the proposed change is consistent with the Comprehensive Land Use Plan.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF TROPHY CLUB, TEXAS:

**SECTION 1.
INCORPORATION OF PREMISES**

The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

**SECTION 2.
AMENDMENT**

Exhibit "D-3" entitled "Tract 3 Development Plans" of Ordinance No. 2002-41 P&Z of the Town of Trophy Club, Texas, the same being PD Planned Development No. 25, Trophy Wood Business Center, is hereby adopted to add the following regulations relating to Lot 2R-2, Block B, Trophy Wood Business Center (Tract 3) and to incorporate Exhibits 3.1 through 3.6 to Exhibit "D-3" so that Exhibit "D" shall include the following and shall also include Exhibits 3.1 through 3.6, and all other articles, chapter, sections, paragraphs, sentence, phrases and words are not amended but are hereby ratified and affirmed.

LOT 2R-2, BLOCK B, TROPHY WOOD BUSINESS CENTER (TRACT 3):

- A. Final Detailed Site Plan: A Final Detailed Site Plan for Lot 2R-2, Block B, Trophy Wood Business Center (Tract 3) of this PD Planned Development, and all parts therefore, is attached hereto as Exhibit "3.1", "Final Detailed Site Plan", of Exhibit D-3, "Tract 3 Development Plans", and incorporated herein as if copied in its entirety. The Final Detailed Site Plan shall be adhered to in carrying out the development of Lot 2R-2, Block B, Trophy

Wood Business Center (Tract 3) of the Land and compliance with each and every part of such Final Detailed Site Plan shall constitute as a condition precedent to the issuance of any building permit for Lot 2R-2, Block B, Trophy Wood Business Center (Tract 3) of the land in the PD Planned Development District.

- B. Landscape Plan & Plant List: The landscape plan and plant list for Lot 2R-2, Block B, Trophy Wood Business Center (Tract 3) of this PD Planned Development are attached hereto as Exhibit "3.2", "Landscape Plan and Plant List", of Exhibit D-3, "Tract 3 Development Plans", and are incorporated herein as if copied in their entirety.
- C. Building Elevations. The building elevations for Lot 2R-2, Block B, Trophy Wood Business Center (Tract 3) of this PD Planned Development are attached hereto as Exhibit "3.3", "Building Elevations", of Exhibit D-3, "Tract 3 Development Plans", and are incorporated herein as if copied in their entirety. Roof signage and wall signage shall be permitted as shown on Exhibit "3.3".
- D. Site Line Studies. The site line studies for Lot 2R-2, Block B, Trophy Wood Business Center (Tract 3) of this PD Planned Development are attached hereto as Exhibit "3.4", "Site Line Studies", of Exhibit D-3, "Tract 3 Development Plans", and are incorporated herein as if copied in their entirety.
- E. Photometric Plan. A photometric plan for Lot 2R-2, Block B, Trophy Wood Business Center (Tract 3) of this PD Planned Development is set forth as Exhibit "3.5", "Photometric Plan", of Exhibit D-3, "Tract 3 Development Plans", which is attached hereto and incorporated herein as if copied in its entirety.
- F. Retaining Wall and Fence Criteria. The wall surrounding the dumpster enclosure for Lot 2R-2, Block B, Trophy Wood Business Center (Tract 3) of this PD Planned Development is set forth as Exhibit "3.6", "Retaining Wall and Fence Criteria", of Exhibit D-3, "Tract 3 Development Plans", which is attached hereto and incorporated herein as if copied in its entirety.
- G. All parking lot landscape islands shall meet the landscaping requirements in the Code of Ordinances.

SECTION 3. APPLICABLE REGULATIONS

In all respects the Land shall be subject to the applicable regulations contained in the Comprehensive Zoning Ordinance and all other applicable and pertinent ordinances and regulations of the Town.

**SECTION 4.
SAVINGS AND REPEALER**

This Ordinance shall be cumulative of all other ordinances of the Town affecting the regulation of land and zoning and shall not repeal any of the provisions of those ordinances except in those instances where the provisions of those Ordinances are in direct conflict with the provisions of this Ordinance whether such Ordinances are codified or uncodified, and all other provisions of the Ordinances of the Town of Trophy Club, codified or uncodified, not in conflict with the provisions of this Ordinance, shall remain in full force and effect.. Notwithstanding the foregoing, any complaint, action, cause of action or claim which prior to the effective date of this Ordinance has been initiated or has arisen under or pursuant to such repealed Ordinance(s) shall continue to be governed by the provisions of that Ordinance and for that purpose the Ordinance shall be deemed to remain and continue in full force and effect.

**SECTION 5.
PENALTY**

It shall be unlawful for any person to violate any provision of this Ordinance, and any person violating or failing to comply with any provision hereof shall be fined, upon conviction, in an amount not less than One Dollar (\$1.00) nor more than Two Thousand Dollars (\$2,000.00), and a separate offense shall be deemed committed each day during or on which a violation occurs or continues. The penalty provided by this section shall be cumulative of all other penalties allowed by law, including without limitation, civil remedies available for enforcement of this Ordinance.

**SECTION 6.
SEVERABILITY**

The sections, paragraphs, sentences, phrases, clauses and words of this Ordinance are severable, and if any section, paragraph, sentence, phrase, clause or word in this Ordinance or application thereof to any person or circumstance is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of this Ordinance, and the Town Council hereby declares that it would have passed such remaining portions of this Ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

**SECTION 7.
PUBLICATION**

The Town Secretary of the Town of Trophy Club is hereby directed to publish, the Caption, Penalty and Effective Date Clause of this Ordinance as required by Section 52.011 of the Texas Local Government Code.

**SECTION 8.
ENGROSSMENT AND ENROLLMENT**

The Town Secretary of the Town of Trophy Club is hereby directed to engross and enroll this Ordinance by filing this Ordinance in the ordinance records of the Town.

**SECTION 9.
EFFECTIVE DATE**

This Ordinance shall become effective from and after its date of adoption and publication as provided by law, and it is so ordained.

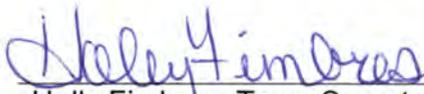
PASSED AND APPROVED by the Town Council of the Town of Trophy Club, Texas, this 8th day of December, 2015.



C. Nick Sanders, Mayor
Town of Trophy Club, Texas

[SEAL]

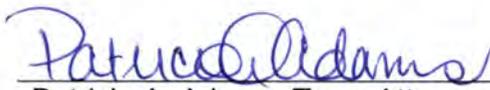
ATTEST:



Holly Fimbres, Town Secretary
Town of Trophy Club, Texas

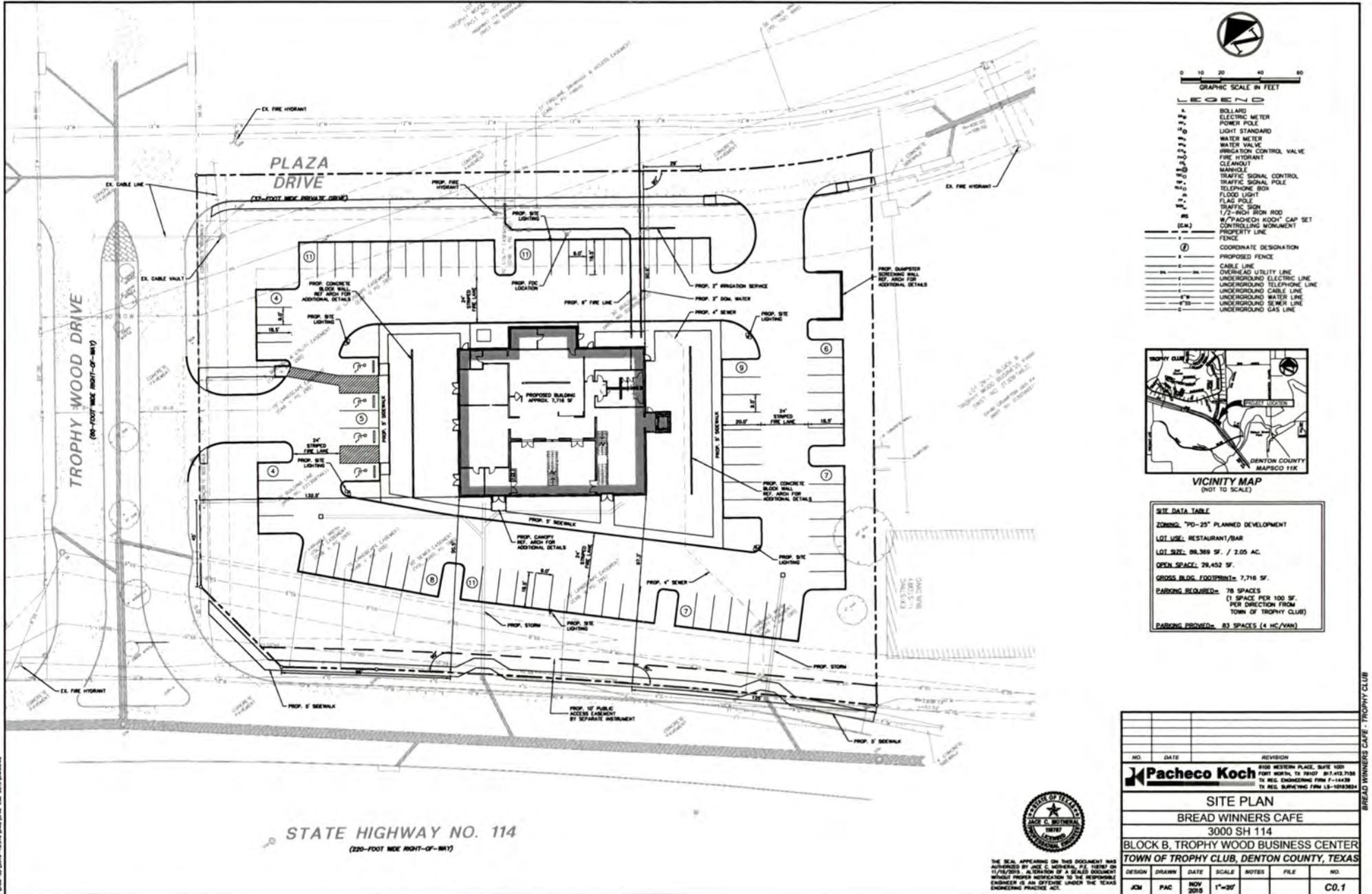


APPROVED AS TO FORM:



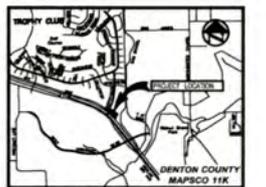
Patricia A. Adams, Town Attorney
Town of Trophy Club, Texas

Exhibit "3.1", Final Detailed Site Plan



LEGEND

- ⊕ BOLLARD
- ⊖ ELECTRIC METER
- ⊕ POWER POLE
- ⊕ LIGHT STANDARD
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ IRRIGATION CONTROL VALVE
- ⊕ FIRE HYDRANT
- ⊕ CLEANOUT
- ⊕ MANHOLE
- ⊕ TRAFFIC SIGNAL CONTROL
- ⊕ TRAFFIC SIGNAL POLE
- ⊕ TELEPHONE BOX
- ⊕ FLOOD LIGHT
- ⊕ FLAG POLE
- ⊕ TRAFFIC SIGN
- ⊕ 1/2" IRON ROD
- ⊕ W/PADLOCK KNOB CAP SET
- ⊕ CONTROLLING MONUMENT
- PROPERTY LINE
- FENCE
- ⊙ COORDINATE DESIGNATION
- PROPOSED FENCE
- CABLE LINE
- OVERHEAD UTILITY LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND CABLE LINE
- UNDERGROUND WATER LINE
- UNDERGROUND SEWER LINE
- UNDERGROUND GAS LINE



SITE DATA TABLE

ZONING: PD-25 PLANNED DEVELOPMENT

LOT USE: RESTAURANT/BAR

LOT SIZE: 89,389 SF. / 2.05 AC.

DECK SPACE: 78,452 SF.

GROSS BLDG. FOOTPRINT: 7,716 SF.

PARKING REQUIRED: 78 SPACES
(1 SPACE PER 100 SF. PER DIRECTION FROM TOWN OF TROPHY CLUB)

PARKING PROVIDED: 83 SPACES (4 HC/VAN)

STATE HIGHWAY NO. 114
(220-FOOT WIDE RIGHT-OF-WAY)



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JACE C. ROTHWELL, P.E. LICENSE NO. 114439, AS DESIGNER OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONDING ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

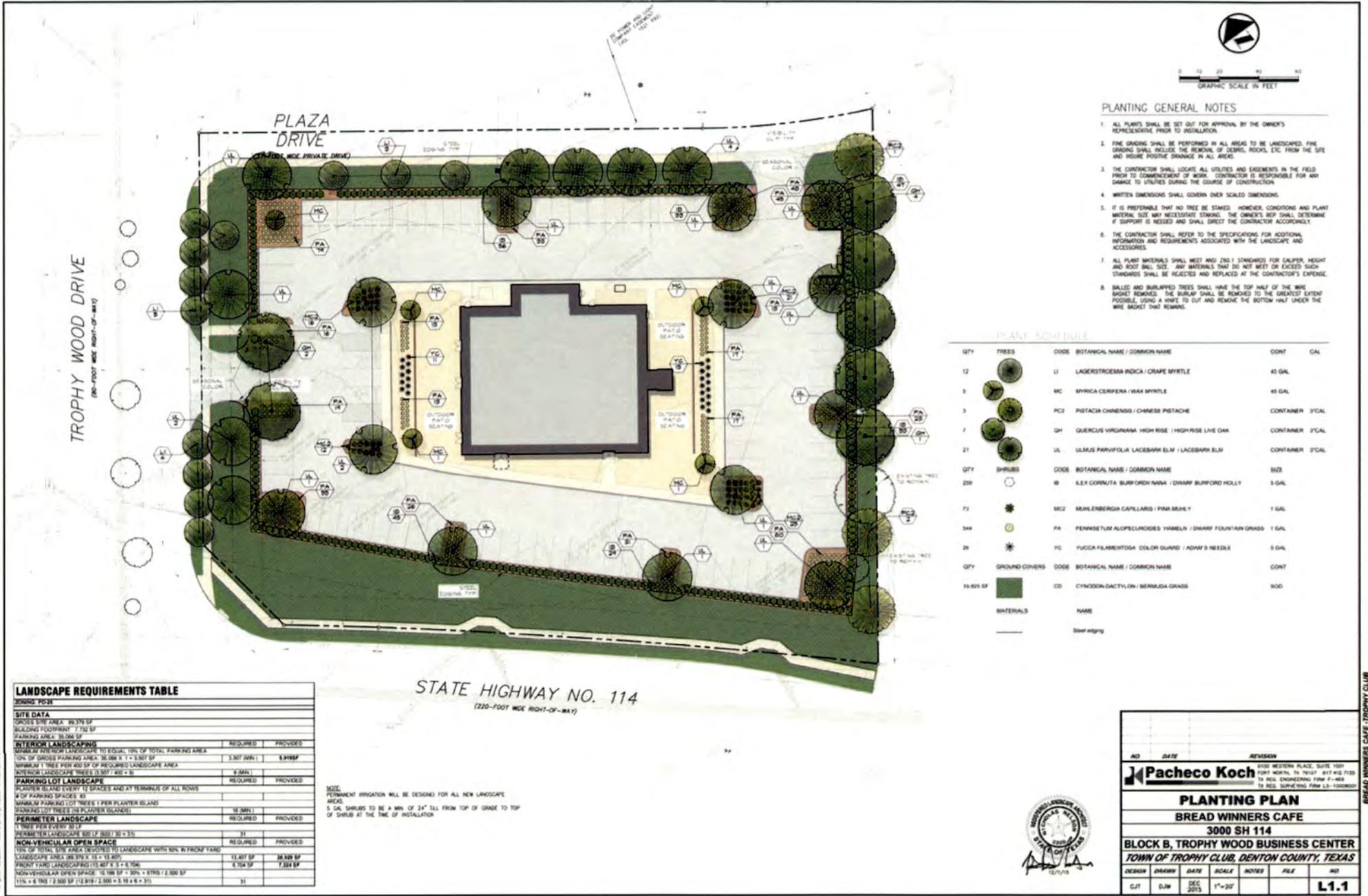
NO.	DATE	REVISION

Pacheco Koch 1800 WESTERN PLACE, SUITE 1000
FORT WORTH, TX 76102-7340
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-10182024

SITE PLAN
BREAD WINNERS CAFE
3000 SH 114
BLOCK B, TROPHY WOOD BUSINESS CENTER
TOWN OF TROPHY CLUB, DENTON COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JCM	PAC	NOV 2015	1"=30'			C0.1

Exhibit "3.2", Landscape Plan and Plant List



Pacheco Koch
3000 SH 114
BLOCK B, TROPHY WOOD BUSINESS CENTER
TOWN OF TROPHY CLUB, DENTON COUNTY, TEXAS

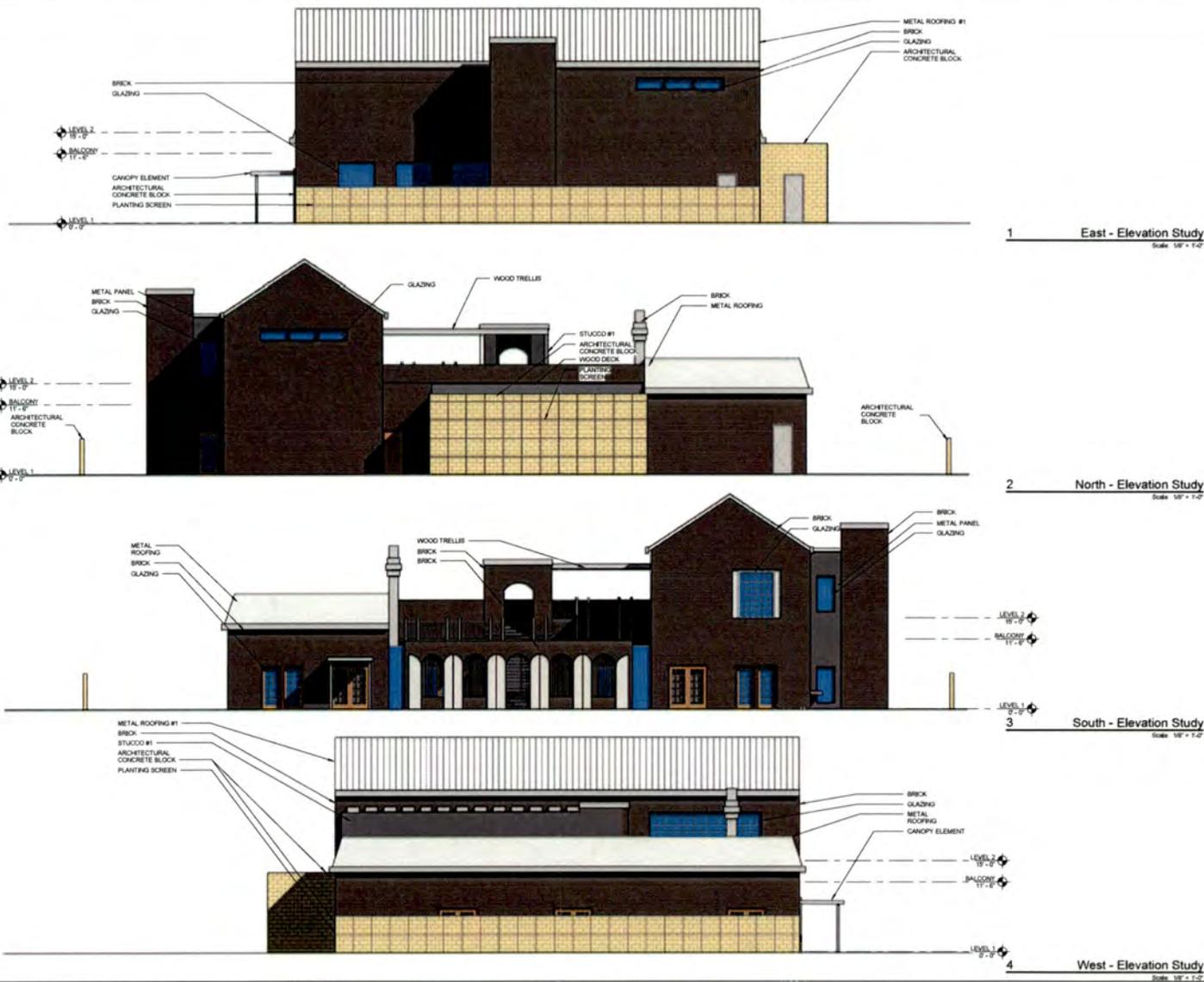
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJT	D.JW	DEC 2015	1"=20'			L1.1

NO. DATE REVISION

3000 SH 114 - 15-002 - LP - DWG
3000 SH 114 - 15-002 - LP - DWG
3000 SH 114 - 15-002 - LP - DWG

BREAD WINNERS CAFE - TROPHY CLUB

Exhibit "3.3", Building Elevations

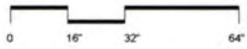


NOTE: COLOR OF MASONRY MATERIALS TO BE SELECTED AND SUBJECT TO FINAL APPROVAL OF THE TOWN COUNCIL, UPON THE RECOMMENDATION OF THE PLANNING AND ZONING COMMISSION PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.

NOTE: FINAL ROOF COLOR OF THE MAIN BUILDING SHALL REQUIRE FINAL APPROVAL OF THE TOWN COUNCIL, UPON THE RECOMMENDATION OF THE PLANNING AND ZONING COMMISSION PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.

NOTE: FINAL SIGN DETAILS SHALL BE DEFERRED FOR APPROVAL BY THE TOWN COUNCIL UPON THE RECOMMENDATION OF THE PLANNING AND ZONING COMMISSION CONCURRENT WITH THE APPROVAL OF A SPECIFIC USE PERMIT FOR ALCOHOLIC BEVERAGE SALES.

NOTE: PLANTING SCREEN, METAL GRID SYSTEM TO SUPPORT PLANTING.



ELEVATION MATERIALS
BREAD WINNERS + QUARTER BAR
3000 SH 114
TROPHY CLUB, TEXAS 76262

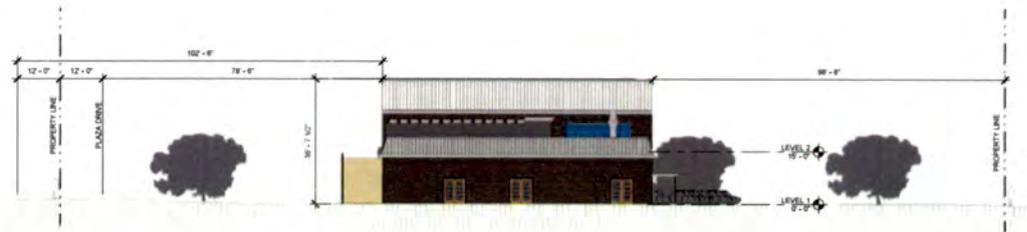
Job #: 15134.00
File Name: C:\Users\s Alvarez\Documents\15134_OTD-BWQB_s_alvarez.rvt
Date: 09/16/15
Drawn by: SFA



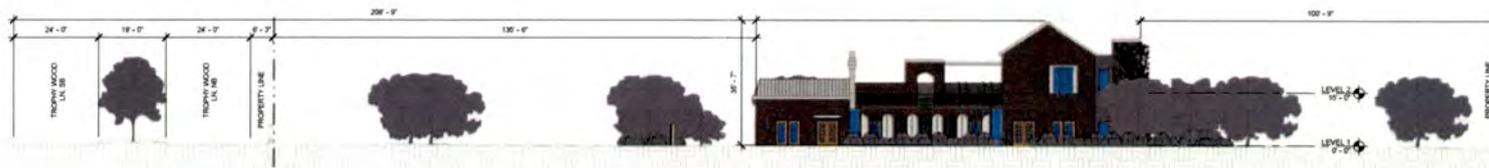
2806 Fairmount Street, Suite 300
Dallas, Texas 75201 | 214.303.1500

3300 West 7th Street, Suite 110
Fort Worth, Texas 76107 | 817.303.1500

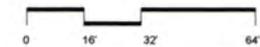
Exhibit "3.4", Site Line Studies



02 SITE SECTION - NORTH/SOUTH
Scale: 1/16" = 1'-0"



01 SITE SECTION - EAST/WEST
Scale: 1/16" = 1'-0"



SIGHT LINE STUDIES

BREAD WINNERS + QUARTER BAR
3000 SH 114
TROPHY CLUB, TEXAS 76262

Job #: 15134.00
File Name: C:\Users\salvarez\Documents\15134_OTD-BWQB_s_alvarez.rvt
Date: 09/17/15
Drawn by: Author



2808 Fairmount Street, Suite 300
Dallas, Texas 75201 | 214.303.1500

3300 West 7th Street, Suite 110
Fort Worth, Texas 76107 | 817.303.1500

