

TOWN OF TROPHY CLUB, TEXAS

ORDINANCE NO. 2004 - 14 P&Z

AN ORDINANCE OF THE TOWN OF TROPHY CLUB, TEXAS, AMENDING ORDINANCE NO. 2002-26 P&Z, THE SAME BEING AN ORDINANCE AMENDING ORDINANCE NO. 2000-06 P&Z OF THE TOWN, THE SAME BEING THE COMPREHENSIVE ZONING ORDINANCE, AND ADOPTING NEW PROVISIONS FOR PD PLANNED DEVELOPMENT NO. 24, KNOWN AS LAKE CITIES CHURCH OF CHRIST, A CERTAIN TRACT OF LAND DESCRIBED AS A 4.2821 ACRE TRACT OF LAND LOCATED GENERALLY TO THE EAST OF GLEN EAGLES COURT, TO THE SOUTH OF INDIAN CREEK DRIVE AND TO THE WEST OF PD NO. 7, THE PLANTATION APARTMENTS; PROVIDING FOR THE INCORPORATION OF PREMISES; ADOPTING NEW PROVISIONS TO AMEND EXHIBIT C, "DEVELOPMENT STANDARDS", BY CHANGING PARAGRAPH (v) OF SECTION (g) ENTITLED "LANDSCAPING", TO PROVIDE NEW STANDARDS FOR LANDSCAPING SCREENING ALONG THE WEST PARKING LOT, NORTH NORTHWEST AND WEST NORTHWEST CORNERS OF THE BUILDING AND THE SOUTHEAST PERIMETER PROPERTY LINE; AND BY AMENDING EXHIBIT F, "LANDSCAPE PLAN/PLANT LIST", BY REPLACING F1 WITH A REVISED F1 ENTITLED "F1 AMENDED", BY CHANGING THE PERIMETER SCREENING ELEMENT ALONG THE WEST PROPERTY LINE AND BEING FURTHER DESCRIBED IN EXHIBIT "A", ATTACHED HERETO AND INCORPORATED HEREIN; PROVIDING THAT SUCH TRACT OF LAND SHALL BE USED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COMPREHENSIVE ZONING ORDINANCE AND ALL OTHER APPLICABLE ORDINANCES OF THE TOWN; PROVIDING A CUMULATIVE REPEALER CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH A VIOLATION OCCURS OR CONTINUES; PROVIDING FOR PUBLICATION; PROVIDING FOR ENGROSSMENT AND ENROLLMENT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town Council of the Town of Trophy Club, Texas (the "Town"), is authorized and empowered by law, in accordance with Chapter 212 of the Texas Local Government Code, to regulate the subdivision of land and property development within the Town; and

WHEREAS, on July 15, 2002, the Town adopted Ordinance No. 2002-26 P&Z, an amendment to Ordinance No. 2000-06 P&Z of the Town, the same being the Comprehensive Zoning Ordinance, by changing the zoning on a certain tract of land described as a 4.2821 acre

tract of land generally known as Lake Cities Church of Christ and amending the zoning map to reflect the PD Planned Development No. 24 Zoning District; and

WHEREAS, after the commencement of construction and prior to the installation of the landscaping materials, the property owner discovered the original approved location for the west property line landscaping was in an area that would not promote the intended screening effect;

WHEREAS, the Town has received a request by the Owner of Lake Cities Church of Christ for an amendment to PD Planned Development No. 24, Town Ordinance No. 2002-26 P&Z, to revise Subsection 1 under Section A of Exhibit C entitled "Development Standards", and Sheet F1 entitled "Landscape Plan" of Exhibit F entitled "Landscape Plan/Plat List to adopt new standards for landscaping screening along the west parking lot, north northwest and west northwest corners of the building and the southeast perimeter property line and if the requested amendment is approved by the Planning and Zoning Commission and Town Council, Ordinance No. 2002-26 P&Z would be amended;

WHEREAS, after public notices were given in compliance with State law and public hearings were conducted, and after considering the information submitted at those public hearings and all other relevant information and materials, the Planning and Zoning Commission of the Town has recommended to the Town Council the adoption of the amendments to PD Planned Development Ordinance No. 2002-26 P&Z as set forth in this Ordinance; and

WHEREAS, after due deliberation and consideration by Town Council of the Town of Trophy Club, Texas at properly posted public hearings, the Town Council now deems it necessary to adopt this Ordinance amending Ordinance No. 2002-26 P&Z to revise the landscape screening for the north perimeter property line; having concluded that such adoption is in the best interest of the Town and of the public health, safety and welfare;

NOW THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF TROPHY CLUB, TEXAS:

SECTION 1.
INCORPORATION OF PREMISES

The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

SECTION 2.
AMENDMENT

Ordinance No. 2002-26 P&Z of the Town, the same being the Town's PD Planned Development No. 24, an amendment to the Town's Comprehensive Zoning Ordinance No. 2000-06 P&Z of the Town, is hereby amended with the following particulars, and all articles, chapters, sections, paragraphs, sentences, phrases and words are not amended but are hereby ratified and affirmed:

- A. Exhibit "C" entitled "Development Standards", Section A, Subsection 1 is amended to read as follows:

(g) Landscaping:

- (v) Screening consisting of tree material, at a minimum, shall be placed along the side property lines of residences to augment the screening capability of existing fences. Said screening shall be presented as an integrated and coordinated landscape system. Along the west end of the parking lot, fifty-nine (59) Evergreen Shrubs (East Palatka Holly) will be installed. The shrubs will be a minimum of six feet (6') in height at the time of installation and will be planted three feet, six inches (3', 6") to provide a solid visual screen.

- B. Sheet F1 entitled "Landscape Plan" of Exhibit "F" entitled "Landscape Plan/Plant List" is amended to indicate 59 East Palatka Holly along the west parking lot line. Additionally, eight (8) trees previously approved to be located along the west property line shall be relocated as follows: two (2) trees shall be planted along the west parking lot line, two (2) trees shall be planted at the north northwest and west northwest corners of the main building, and four (4) trees shall be planted along the southwest perimeter property line, as indicated in Exhibit "A", entitled "F1 Amended", a copy of which is attached hereto and incorporated herein.

SECTION 4.
ZONING MAP

The Planning and Zoning Coordinator is hereby directed to mark and indicate on the official Zoning District Map of the Town the zoning change herein made.

SECTION 5.
CUMULATIVE REPEALER

That this Ordinance shall be cumulative of all other Ordinances and shall not repeal any of the provisions of such Ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance.

SECTION 6.
SAVINGS

All rights and remedies of the Town of Trophy Club, Texas, are expressly saved as to any and all violations of the provisions of any other Ordinance affecting regulations governing and regulating the zoning, platting, and subdivision of land which have secured at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such Ordinances same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

SECTION 7.
SEVERABILITY

If any section, article, paragraph, sentence, clause, phrase or word in this Ordinance or application thereof to any person or circumstance is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of this Ordinance, and the Town Council hereby declares it would have passed such remaining portions of this Ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

SECTION 8.
PENALTY

It shall be unlawful for any person to violate any provision of this Ordinance, and any person violating or failing to comply with any provision hereof shall be fined, upon conviction, in an amount not more than Two Thousand Dollars (\$2,000.00), and a separate offense shall be deemed committed each day during or on which a violation occurs or continues.

SECTION 9.
PUBLICATION

The Town Secretary of the Town of Trophy Club is hereby directed to publish the Caption, Penalty and Effective Date of this Ordinance as required by Section 52.011 of the Texas Local Government Code.

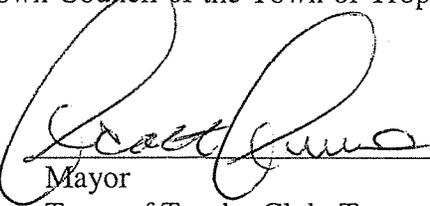
SECTION 10.
ENGROSSMENT AND ENROLLMENT

The Town Secretary of the Town of Trophy Club is hereby directed to engross and enroll this Ordinance by copying the exact Caption, Penalty and Effective Date in the minutes of the Town Council and by filing this Ordinance in the ordinance records of the Town.

SECTION 11.
EFFECTIVE DATE.

This Ordinance shall become effective from and after its date of adoption and publication as provided by law, and it is so ordained.

PASSED AND APPROVED by the Town Council of the Town of Trophy Club, Texas, this 17th day of May, 2004.

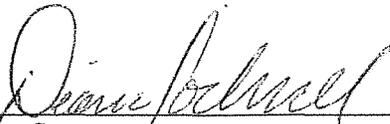


Mayor
Town of Trophy Club, Texas

Effective Date: May 22, 2004

[SEAL]

ATTEST:



Town Secretary
Town of Trophy Club, Texas



APPROVED TO AS FORM:



Town Attorney
Town of Trophy Club, Texas

TOWN OF TROPHY CLUB, TEXAS

ORDINANCE NO. 2002 – 26 P&Z

AN ORDINANCE OF THE TOWN OF TROPHY CLUB, TEXAS, AMENDING ORDINANCE NO. 2000-06 P&Z OF THE TOWN, THE SAME BEING THE COMPREHENSIVE ZONING ORDINANCE, AND AMENDING THE OFFICIAL ZONING MAP OF THE TOWN BY CHANGING THE ZONING ON A CERTAIN TRACT OF LAND DESCRIBED AS A 4.2821 ACRE TRACT OF LAND GENERALLY LOCATED TO THE NORTH OF STATE HIGHWAY 114, TO THE EAST OF GLEN EAGLES COURT, TO THE SOUTH OF INDIAN CREEK DRIVE AND TO THE WEST OF THE PLANTATION APARTMENTS AND BEING MORE PARTICULARLY DESCRIBED IN EXHIBIT "A", ATTACHED HERETO AND INCORPORATED HEREIN, FROM ITS CURRENT ZONING OF "PO" PROFESSIONAL OFFICE, TO PD PLANNED DEVELOPMENT NO. 24, LAKE CITIES CHURCH OF CHRIST; PROVIDING THAT SUCH TRACT OF LAND SHALL BE USED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COMPREHENSIVE ZONING ORDINANCE AND ALL OTHER APPLICABLE ORDINANCES OF THE TOWN; PROVIDING THAT THE ZONING MAP SHALL REFLECT THE PD PLANNED DEVELOPMENT NO. 24 ZONING DISTRICT FOR THE SUBJECT PROPERTY; PROVIDING A DEVELOPMENT/SITE PLAN; PROVIDING DEVELOPMENT STANDARDS; PROVIDING BUILDING ELEVATIONS; PROVIDING SITE LINE STUDIES; PROVIDING A LANDSCAPE PLAN/PLANT LIST; PROVIDING THE PHOTOMETRIC PLAN/LIGHT FIXTURES; ESTABLISHING SIGN CRITERIA; PROVIDING A CIVIL SITE PLAN; PROVIDING A DEVELOPMENT SCHEDULE; PROVIDING A CUMULATIVE CLAUSE; PROVIDING FOR SAVINGS; PROVIDING SEVERABILITY; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH A VIOLATION OCCURS OR CONTINUES; PROVIDING FOR PUBLICATION; PROVIDING FOR ENGROSSMENT AND ENROLLMENT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the owner of the tract of land (the "Land"), described as a 4.2821 acre tract of land currently zoned "PO" Professional Office, such Land being more specifically described in Exhibit "A", attached hereto and incorporated herein, filed an application with the Town Planning and Zoning Commission requesting a change in zoning of the Land into PD Planned Development No. 24, Lake Cities Church of Christ. Such application further requested an amendment to the official Zoning District Map of the Town in accordance with Ordinance No. 2000-06 P&Z of the Town (the "Comprehensive Zoning Ordinance"); and

WHEREAS, all legal notices, requirements and conditions having been complied with, the case to rezone the Land came before the Planning and Zoning Commission; and

WHEREAS, after public notices were given in compliance with State law and public hearings were conducted, and after considering the information submitted at those public hearings and all other relevant information and materials, the Planning and Zoning Commission of the Town has recommended to the Town Council the adoption of the amendments to Comprehensive Zoning Ordinance No. 2000-06 P&Z as set forth in this Ordinance; and

WHEREAS, after complying with all legal notices, requirements, and conditions, a public hearing was held before the Town Council at which the Town Council considered, among other things, the character of the land and its suitability for particular uses, with a view of encouraging the most appropriate use of land in the Town, and does hereby find that the rezoning approved hereby accomplishes such objectives; and

WHEREAS, the Town Council has determined that there is a necessity and need for the change in zoning and that the proposed change is consistent with the Comprehensive Land Use Plan.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF TROPHY CLUB, TEXAS:

SECTION 1.
INCORPORATION OF PREMISES

The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

SECTION 2.
FINDINGS

After due deliberations and consideration of the recommendation of the Planning and Zoning Commission and the information and other materials received at the public hearing, the Town Council has concluded that the adoption of this Ordinance is in the best interests of the Town of Trophy Club, Texas, and of the public health, safety and welfare.

SECTION 3.
REZONING

Ordinance No. 2000-06 P&Z of the Town of Trophy Club, Texas, the same being the Town's Comprehensive Zoning Ordinance, is hereby amended in the following particulars, and all other articles, chapters, sections, paragraphs, sentences, phrases and words are not amended but are hereby ratified and affirmed:

A. The zoning on the Land, a 4.281 acre tract of land more particularly described in Exhibit "A", attached hereto and incorporated herein, is hereby changed from "PO" Professional Office to PD Planned Development District No. 24, for use in accordance with the requirements of this Ordinance and all other applicable ordinances, rules, and regulations of the Town. Requirements of this Ordinance are more specifically described and set forth in Exhibits "A", "B", "C", "D", "E", "F", "G", "H", "I", and "J", which are attached hereto and incorporated herein for all purposes. In the event of any ambiguities or conflicts between the written word in the Development Standards and the illustrations provided in the Exhibits to this ordinance, the Exhibits shall control.

1. Development/Site Plan. A development/site plan for the Land, and all parts thereof, is attached hereto as Exhibit "B", "Development/Site Plan" and incorporated herein as if copied in its entirety. Such Development/Site Plan shall be adhered to in carrying out the development of the land in accordance with this Ordinance, and compliance with each and every part of such plan shall constitute a condition precedent to the issuance of any building permit for the land in this PD Planned Development District.
2. Development Standards. The development standards for this PD Planned Development are attached hereto as Exhibit "C", "Development Standards", and are incorporated herein as if copied in their entirety. Such standards and regulations include, but are not limited to, size of tracts; a General Purpose; Permitted Uses as specified for Phase I, Phase II and Phase III; Limitation of Uses; Area, Building and Site Regulations; Parking, Loading Regulations; Landscaping; Building Materials; Development Schedule; Lighting; Signs; Fire Lanes; Final Site Plan; Outdoor Storage; Mechanical and Electrical Equipment; Traffic Impact Analysis; Hours of Operation; and Undeveloped Areas. Such Development Standards shall be adhered to in carrying out the development of the land in accordance with this Ordinance, and shall individually and collectively constitute conditions precedent to the granting of any Certificate of Occupancy for all structures within PD Planned Development No. 24.
3. Building Elevations. The building elevations for this PD Planned Development are attached hereto as Exhibit "D", "Building Elevations", and are incorporated herein as if copied in their entirety.
4. Site Line Studies. The site line studies for this PD Planned Development are attached hereto as Exhibit "E", "Site Line Studies", and are incorporated herein as if copied in their entirety.
5. Landscape Plan/Plant List. The landscape plan and plant list for this PD Planned Development are attached hereto as Exhibit "F", "Landscape

Plan/Plant List”, and are incorporated herein as if copied in their entirety.

6. Photometric Plan/Light Fixtures. A photometric plan and light fixture requirements for this PD Planned Development are set forth in Exhibit “G”, “Photometric Plan/Light Fixtures”, which is attached hereto and incorporated herein as if copied in its entirety.
7. Sign Criteria. Signage requirements for this PD Planned Development are set forth in Exhibit “H”, “Sign Criteria”, which is attached hereto and incorporated herein as if copied in its entirety.
8. Civil Site Plan. The civil Site plan for this PD Planned Development is attached hereto as Exhibit “I”, “Civil Site Plan”, and is incorporated herein as if copied in its entirety.
9. Development Schedule. The development schedule for Phase I (Church Facility) of this PD Planned Development as specified and designated in Exhibit C, Development Standards, is set forth in Exhibit “J”, “Development Schedule”, which is attached hereto and incorporated herein as if copied in its entirety. The Development Schedule(s) for Phase II (Religious Education) and Phase III (Religious Multipurpose Center) shall be submitted at such later date as the developer desires to begin Phase II and Phase III. Such Development Schedule(s) shall be submitted for Town approval in the form of Ordinance amendment(s), and Developer shall not begin Phase II or Phase III until such Development Schedule(s) are approved.

SECTION 4. **APPLICABLE REGULATIONS**

In all respects the Land shall be subject to the applicable regulations contained in the Comprehensive Zoning Ordinance and all other applicable and pertinent ordinances and regulations of the Town.

SECTION 5. **ZONING MAP**

The Planning and Zoning Coordinator is hereby directed to mark and indicate on the official Zoning District Map of the Town the zoning change herein made.

SECTION 6.
CUMULATIVE

That this Ordinance shall be cumulative of all other Ordinances and shall not repeal any of the provisions of such Ordinances, except for those instances where there are direct conflicts with the provisions of this Ordinance.

SECTION 7.
SAVINGS

All rights and remedies of the Town of Trophy Club, Texas, are expressly saved as to any and all violations of the provisions of any other Ordinance affecting regulations governing and regulating the zoning, platting, and subdivision of land which have secured at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such Ordinances same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

SECTION 8.
SEVERABILITY

If any section, article, paragraph, sentence, clause, phrase or word in this Ordinance or application thereof to any person or circumstance is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of this Ordinance, and the Town Council hereby declares it would have passed such remaining portions of this Ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

SECTION 9.
PENALTY

It shall be unlawful for any person to violate any provision of this Ordinance, and any person violating or failing to comply with any provision hereof shall be fined, upon conviction, in an amount not more than Two Thousand Dollars (\$2,000.00), and a separate offense shall be deemed committed each day during or on which a violation occurs or continues.

SECTION 10.
PUBLICATION

The Town Secretary of the Town of Trophy Club is hereby directed to publish the Caption, Penalty and Effective Date of this Ordinance as required by Section 52.011 of the Texas Local Government Code.

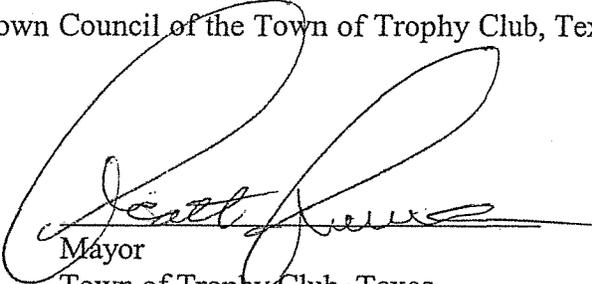
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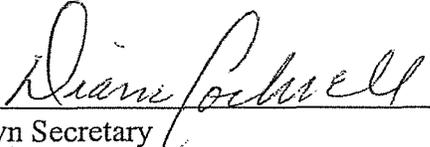
SECTION 12.
EFFECTIVE DATE.

This Ordinance shall become effective from and after its date of adoption and publication as provided by law, and it is so ordained.

PASSED AND APPROVED by the Town Council of the Town of Trophy Club, Texas, this 15th day of July, 2002.


Mayor
Town of Trophy Club, Texas

ATTEST:


Town Secretary
Town of Trophy Club, Texas

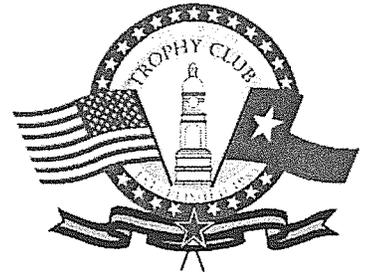
[SEAL]



APPROVED AS TO FORM:


Town Attorney
Town of Trophy Club, Texas

**Town of Trophy Club
Planning & Zoning Department
LETTER TO FILE**



From: Kerin C. Fleck *Ker*
Date: 3 May 2005
Re: Lake Cities Church of Christ

At the 18 April 2005 Town Council meeting, the Town Council moved to unanimously approve a request from Lake Cities Church of Christ to operate an On-Site Day Care use by way of a Specific Use Permit.

Existing Condition of the Property: The church is located on approximately 4.2 acres and consists of a church sanctuary, classrooms, kitchen, meeting rooms, administration offices, and a parking lot. The property is zoned Planned Development - 24.

Staff Findings: In PD-24, a day care facility is not a listed permitted use, however, Section 44.1.B.2 of the Zoning Ordinance allows for day care uses via an SUP.

The property currently operates as a religious institution. As a service to the members of the church, a "Mothers-Day-Out" program has been operating on a one (1) day a week basis. Currently the hours of operation for the "Mothers-Day-Out" program are 9am to 2pm on Wednesdays. The church is requesting to expand that service into a day care, starting in the Fall and will be in operation Monday through Thursdays from 9am to 2pm.

According to the applicant, no food service will be provided by the day care, lunches and snacks will be provided by the parents of the students.

The anticipated enrollment for the day care will be approximately 54 students and 10 staff members. The Zoning Ordinance (2000-06 P&Z) requires that parking for the church be one (1) space per 200 square feet of building area. Since the day care will be in operation during the off times for the church, additional parking for the day care is not needed.

According to the submitted site plan, the applicant plans to construct a fence for a playground area. The fence will be a black iron fence and will be six (6) feet in height. Any lighting that will be added to the site must comply with Ordinance 2000-06 P&Z, which regulates lighting on site.

The proposed day care facility appears to comply with all the requirements of the SUP.

PLANNED DEVELOPMENT NO. 24

LAKE CITIES CHURCH OF CHRIST

TROPHY CLUB, TEXAS

**THE ARCHITECTS
BARNES
ASSOCIATES**

PLANNED DEVELOPMENT NO. 24
LAKE CITIES CHURCH OF CHRIST
TROPHY CLUB, TEXAS

Contents

Exhibit "A"	A-1 – A-2	Legal Description
Exhibit "B"	B1	Development/Site Plan
Exhibit "C"	C1 – C7	Development Standards
Exhibit "D"	D1 – D2	Building Elevations
Exhibit "E"	E1	Site Line Studies
Exhibit "F"	F1 – F3	Landscape Plan/Plant List
Exhibit "G"	G1 – G6	Photometric Plan/Light Fixtures
Exhibit "H"	H1 – H3	Sign Criteria
Exhibit "I"	I1	Civil Site Plan
Exhibit "J"	J1	Phase I Development Schedule

PLANNED DEVELOPMENT NO. 24
LAKE CITIES CHURCH OF CHRIST
TROPHY CLUB, TEXAS

EXHIBIT "A"

LEGAL DESCRITPION

EXHIBIT "A"

Property Description

LEGAL DESCRIPTION

4.2821 ACRES

BEING a tract of land out of the W.H. PEA SURVEY, Abstract No. 1045 in the Town of Trophy Club, Denton County, Texas and being part of a 165.443 acre tract of land described in deed to Johnson-Loggins, Inc., recorded in Volume 689, Page 742, Deed Records of Denton County, Texas and being more particularly described as follows:

BEGINNING at a Texas Highway Department concrete monument found in the north right-of-way line of State Highway No. 114 (variable width ROW) for the southwest corner of TROPHY CLUB PLANTATION, an addition to the Town of Trophy Club according to the plat thereof recorded in Cabinet C, Slide 393, Plat Records of Denton County, Texas, for the southwest corner of a 307.91 acre tract described in deed to Johnson-Loggins, Inc., recorded in Volume 576, Page 153, Deed Records of Denton County, Texas, for the southeast corner of a 1.027 acre tract of land described in deed to the State of Texas, recorded in Volume 3177, Page 0270, Deed Records of Denton County, Texas and for the southeast corner of the beforementioned 165.443 acre tract:

THENCE with the said north right-of-way line and the north line of said 1.027 acre tract, the following courses and distances to wit:

North 25°12'12" West, a distance of 68.99 feet to a Texas Highway Department concrete monument found for corner;
North 68°19'05" West, a distance of 401.09 feet to a Texas Highway Department concrete monument found for corner;
North 62°57'40" West, a distance of 217.32 feet to a Texas Highway Department concrete monument found for corner in the east line of LAKE FOREST VILLAGE PHASE THREE, an addition to the Town of Trophy Club, according to the plat thereof recorded in Cabinet B, Slide 160, Plat Records of Denton County, Texas;

THENCE with said east line of LAKE FOREST VILLAGE PHASE THREE, the following courses and distances to wit:

North 36°41'15" East, a distance of 100.58 feet to a 1/2" iron rod found for corner;
North 18°44'24" East, a distance of 56.16 feet to a 5/8" iron rod found for corner;
North 04°03'23" West, a distance of 149.84 feet to a 5/8" iron rod found for corner in the south right-of-way line of Indian Creek Drive (80' ROW):

THENCE with the south right-of-way line of Indian Creek Drive, South 71°13'42" East, a distance of 557.74 feet to a 5/8" iron rod found with a yellow plastic cap stamped "NELSON CORP" for corner in the west line of the beforementioned 307.91 acre tract:

THENCE leaving the south right-of-way line of Indian Creek Drive and with the said west line, South 00°00'26" East, a distance of 413.22 feet to the POINT OF BEGINNING and containing 4.2821 acres of land.

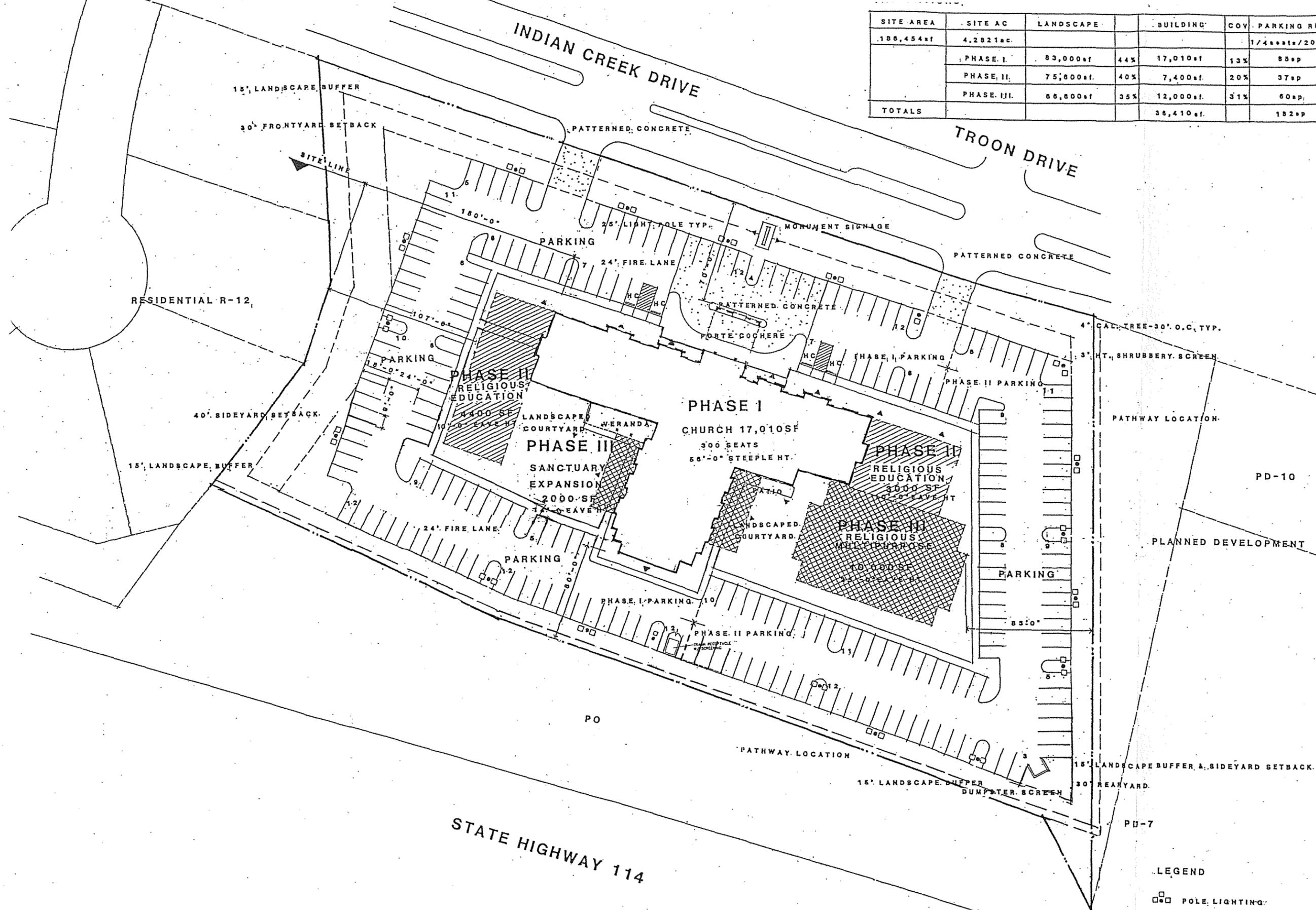
Bearing system based upon the deed recorded in County Clerk File No. 93-R0007516 of the Real Property Records of Denton County, Texas.

PLANNED DEVELOPMENT NO. 24
LAKE CITIES CHURCH OF CHRIST
TROPHY CLUB, TEXAS

EXHIBIT "B"

DEVELOPMENT/SITE PLAN

SITE AREA	SITE AC	LANDSCAPE	BUILDING	COV.	PARKING REQ	PARKING. PROY	
186,454sf	4.2821ac.				174seats/200sf		
	PHASE I.	83,000sf	44%	17,010sf	13%	85sp	125sp
	PHASE II.	75,600sf	40%	7,400sf	20%	37sp	97sp
	PHASE III.	66,800sf	35%	12,000sf	31%	60sp	-
TOTALS				36,410sf		182sp	222sp

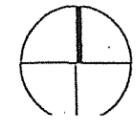


BARNES

Lake Cities
church of christ

PD-24

B1



DEVELOPMENT/
SITE PLAN

1:30

- LEGEND
- POLE LIGHTING
 - ▶ GROUND LIGHTING



PLANNED DEVELOPMENT NO. 24
LAKE CITIES CHURCH OF CHRIST
TROPHY CLUB, TEXAS

EXHIBIT "C"

DEVELOPMENT STANDARDS

DEVELOPMENT STANDARDS
LAKE CITIES CHURCH OF CHRIST
TROPHY CLUB, TEXAS

The development of the Land described in Exhibit "A", A1-A2, Legal Description, a copy of which is attached hereto and incorporated herein, consisting of approximately 4.2821 acres of land shall be in accordance with the Exhibit "B", B1, Development/Site Plan of the development (a copy of which is attached hereto and incorporated herein), all other Exhibits attached to or to be made a part of this Ordinance, the Comprehensive Zoning Ordinance (2000-06 P&Z), all other applicable ordinances and regulations of the Town of Trophy Club, and the following Development Standards, conditions and requirements.

In the event of a conflict between the terms and requirements of this ordinance and the foregoing, the requirements of this ordinance shall apply.

A. Purpose: This Planned Development is designed to accommodate a Church Facility. For construction purposes, the Land is divided into three phases as shown on Exhibit "B", B1, Development/Site Plan. The use and development of each of the phases shall be in accordance with the following:

1. Permitted Uses:

(a) Phase I – Church Facility incorporating the following:

- (i) Sanctuary – 5,576 SF (300 seats)
 - (ii) Religious Assemble Areas – 5,531 SF
 - (iii) Religious Administration Offices – 1,100 SF
 - (iv) Secondary Uses Ancillary and Supplemental to Religion Institutions – 4,803 SF
- Total SF – 17,010

(b) Phase II – Religious Education – 7,400 SF

(c) Phase III – Religious Multipurpose Center

- (i) Gymnasium – 6,000 SF
- (ii) Religious Education, Secondary Uses Ancillary and Supplemental to Religious Institutions – 4,000 SF
- (iii) Sanctuary Expansion – 2,000 SF

(d) Limitation of Uses: Any use not expressly permitted herein or allowed by permit herein is prohibited.

(e) Area, Building, and Site Regulations:

(i) Maximum Building Coverage: The combined area of all main and accessory buildings and structures shall not exceed 60% of the total lot area.

(ii) Maximum Impervious Area: The combined area occupied by all buildings, structures, off-street parking and paved areas shall not exceed eighty percent (80%) of the total lot area.

(iii) Minimum Open Space: All areas, but in any event at least twenty percent (20%) of the total site area not devoted to buildings, walkways, structures or off-street parking area, shall be devoted to grass, trees, gardens, shrubs, or other suitable landscape material.

(iv) Depth of Front Yard: There shall be a front yard having a depth of not less than thirty feet (30").

(v) Depth of Rear Yard: There shall be a rear yard having a depth of not less than thirty feet (30').

(vi) Width of Side Yard on Each Side: A minimum of a fifteen (15') foot side yard shall be required unless adjacent to a residential district, then a side yard of forty (40') feet shall be required.

(vii) Height: No building or structure shall exceed forty-five (45') feet in height (2 stories maximum) to the eave line. The pitch of the roof will determine the building height. A steeple will be designed not to exceed sixty feet (60') in height.

(f) Parking, Loading Regulations: The minimum number of off-street parking spaces shall be one (1) space for each 200 square feet of building area. In all other respects, off-street parking shall comply with *Section 48 "Off Street Parking Requirements"* of the Comprehensive Zoning Ordinance. Landscaped islands shall, on an overall site plan average, be provided for every twelve (12) parking spaces. Handicapped parking, including van accessible spaces, shall be provided according to Town standards.

(g) Landscaping: Landscaping shall be in accordance with *Section 47*,

"Landscaping Regulations" of the Comprehensive Zoning Ordinance and Article 8 of the Subdivision Regulations, in addition to the following:

- (i) Berming shall be utilized along street frontages, when possible, to screen parking from public view.
 - (ii) All landscaped areas shall be irrigated.
 - (iii) Landscaping shall be maintained by the Owner of the Land. All dead plant material shall be removed and replaced within forty-five (45) days.
 - (iv) All plant materials must be selected from the mandatory plant list in accordance with Exhibit "F, F1-F3, Landscape Plan/Plant List, (a copy of which is attached hereto and incorporated herein).
 - (v) *g(v) replaced - refer to front of Ordinance 2004-14 Piz* a minimum, shall be of residences to existing fences. Said an integrated and
 - (vi) The caliper of a tree is defined as the diameter of the tree trunk as measured at a point twelve inches (12") above the finished grade in accordance with standard nursery practice (4" minimum), in accordance with the tree requirements outlined in Article 8 of the Subdivision Regulations.
 - (vii) All trees shall be nursery-grown containerized trees.
 - (viii) Detailed landscape plans, sealed by a registered landscape architect, shall be provided at the time of Final Site Plan submittal.
- (h) Building Materials: All main and accessory buildings shall be of exterior fire resistant construction having one hundred percent (100%) of the total exterior walls excluding doors, windows and porches, constructed of stone, concrete or other masonry or material of equal characteristics in accordance with the Town's Building Code and Firer Code. All buildings and structures shall be veneered with stone, FCB or wood trim, and a galvalume metal roof. All windows and doors shall be of wood and aluminum construction. Typical elevations are shown

with the Ordinance as Exhibit "D", D1-D2, Building Elevations, (a copy of which is attached hereto and incorporated herein) to illustrate the conceptual architectural style and detail. Alternate materials may be used if approved by the Town Council upon recommendation by the Planning & Zoning Commission. Color selection for roof material shall be approved by the Town Council upon recommendation from the Planning & Zoning Commission prior to issuing of the building permit.

- (i) Development Schedule: Phase I shall be developed in accordance with Exhibit "J", J1, Development Schedule, a copy of which is attached hereto and incorporated herein. Approved final building inspections and site improvement inspections shall be conducted no later than one (1) year following the commencement of construction. If, in the opinion of the Planning and Zoning Commission or the Town Council, the Owner has failed to meet the approved development schedule, the Planning and Zoning Commission or the Town Council may initiate proceedings to amend all or part of the zoning on the Land or to amend the provisions of this Ordinance. Upon receiving the recommendation of the Planning and Zoning Commission, after all hearings have been held as required by law, the Town Council may amend all or part of the zoning of the Land and/or amend the provisions of the Ordinance to extend the development schedule or adopt such new development schedule as may be indicated by the facts and conditions then existing.
- (j) Lighting: All parking lot lighting shall be located approximately as shown on Exhibit "B", B1, Development /Site Plan, and Exhibit "G", G1, Photometric Plan/Light Fixtures, (a copy of which is attached hereto and incorporated herein). Poles shall be a maximum of twenty-five feet (25') in height on twenty-four inch (24") concrete bases in the parking lots. Pole lighting shall be oriented down and away from all adjacent properties. Building lighting shall be mounted to the building face or in ground fixtures and oriented in a configuration to wash the building with lights. Wall mounted down directional lights will be on the rear of the building. Perimeter lights will be shielded to minimize overspill. Spill-over lighting shall not exceed 0.05 foot-candles at any residential property line. The maximum foot-candles on site shall not exceed twenty (20) foot-candles. All freestanding parking lot lights shall have a maximum cut-off of eighty degrees (80°). The Final Site Plan shall provide a photometric plan of the site for approval.
- (k) Signs: Prior to the issuance of a building permit for the land or any part thereof, an overall sign plan, accompanying the Final Site Plan for the land, shall have been approved by the Town Council, upon recommendation by the Planning and Zoning Commission. Upon

approval of the sign plan, the plan shall become a part of this ordinance as if copied herein in its entirety. The signs reflected on the sign plan shall conform to applicable ordinances of the Town and with the following:

- (i) Pre-Construction Sign – One (1) two-faced sign shall be located within the landscaped area adjacent to Indian Creek Drive. The sign shall communicate the future construction of the church facility. The sign shall be temporary and shall be removed upon the commencement of construction for Phase I. The Pre-Construction Sign shall be a maximum of ten feet (10') in height, above finish grade of the adjacent concrete curb within the highway, eight feet (8') in length and sixty-four square feet (64') in total area, as indicated in Exhibit "H", H1, Sign Criteria, (a copy of which is attached hereto and incorporated herein)
- (ii) Construction Sign – One (1) single faced sign shall be located within the landscaped area adjacent to Indian Creek Drive. The sign shall communicate the name(s) of the builder(s) performing the construction on the site. The sign shall be installed at the commencement of construction for each phase, and shall be immediately removed upon the completion of construction. The Construction Sign shall be a maximum of ten feet (10') in height, above finish grade of the adjacent concrete curb within the highway, eight feet (8') in length and sixty-four square feet (64') in total area, as indicated in Exhibit "H", H2, Sign Criteria.
- (iii) Monument Sign – One (1) two-faced monument sign shall be located within the landscaped area as shown on Exhibit "B", B1, Development/Site Plan. The monument sign shall be a maximum of six feet (6') in height, above finish grade of the adjacent concrete curb within the highway right-of-way, sixteen feet (16') in length and ninety-six square feet (96') in total area, as indicated in Exhibit "H", H3, Sign Criteria. The sign shall be externally illuminated.
- (iv) Directional Sign – All directional, safety and handicapped signage shall be of a character so as to complement the project and conform to Town standards.
- (v) All signage shall be located so as to avoid traffic obstructions and shall be outside of any vision triangle.

(l) Fire Lanes: Fire lanes are as shown on Exhibit "I", I1, Civil Site Plan (a copy of which is attached hereto and incorporated herein). Location and detail shall be provided at the time of Final Site Plan approval and shall be approved by the Fire Department.

(m) Final Site Plan: The Final Site Plan shall include, among other things:

- (i) The detailed Site Plan per Town standards;
- (ii) The final architectural elevations and materials;
- (iii) The final landscape and irrigation plans.
- (iv) Upon approval, the Final Site Plan shall become a part of this Ordinance.
- (v) Any amendment to an approved Development/Site Plan shall be considered as being an amendment to the PD and shall meet all the notice, publication, and approvals required by any other amendment to the Comprehensive Zoning Ordinance for the Town of Trophy Club.
- (vi) Changes to the Site Plan that are determined to be non-substantive by the Planning and Zoning Coordinator, in that they do not increase the floor area of the structure, location of the structure, height of the structure, and in fact are determined to add to the amenities of the PD, may be approved administratively. However, the Planning and Zoning Administrator shall have the option of deferring any administrative review to the Planning and Zoning Commission and Town Council according to the discretion of the Planning and Zoning Administrator.
- (vii) Photometric Plan

(n) Outdoor Storage: No outdoor storage, except for refuse disposal, shall be permitted on the land. A dumpster may be located at a convenient location as shown on Exhibit "B", B1, Development/Site Plan. Such location shall be subject to the prior approval of the Planning and Zoning Commission. Dumpsters are to be enclosed on all sides with masonry walls and gates of similar architectural style of the buildings. Minimum height of the enclosures shall be eight feet (8'). When possible, landscaping shall provide additional screening for the enclosure. Operating hours for trash service shall be in accordance with the Town of Trophy Club standards.

(o) Mechanical and Electrical Equipment: Mechanical and electrical equipment, including air conditioning units, shall be designed, installed and operated to minimize noise impact on surrounding properties. All such equipment shall be screened from public view by live plant material, decorative masonry walls, or a combination thereof. Line of sight drawings as shown on Exhibit "E", E1, Site Line Studies (a copy of which is attached hereto and incorporated herein) are provided to illustrate that adequate screening is provided.

(p) Traffic Impact Analysis will be subject to the approval of the Town Engineer prior to the issuance of building permits.

(q) Hours of Operation:

(i) Building Open: M-F 8:00 am to 5:00 pm Typical Business Hours

(ii) Sunday:

Morning – Worship Service 9:00 am to 11:30 am

Evening – 5:00 pm to 6:00 pm

(iii) Wednesday:

Evening – 7:00 pm to 8:00 pm

(iv) All special events will be concluded before 10:00 pm.

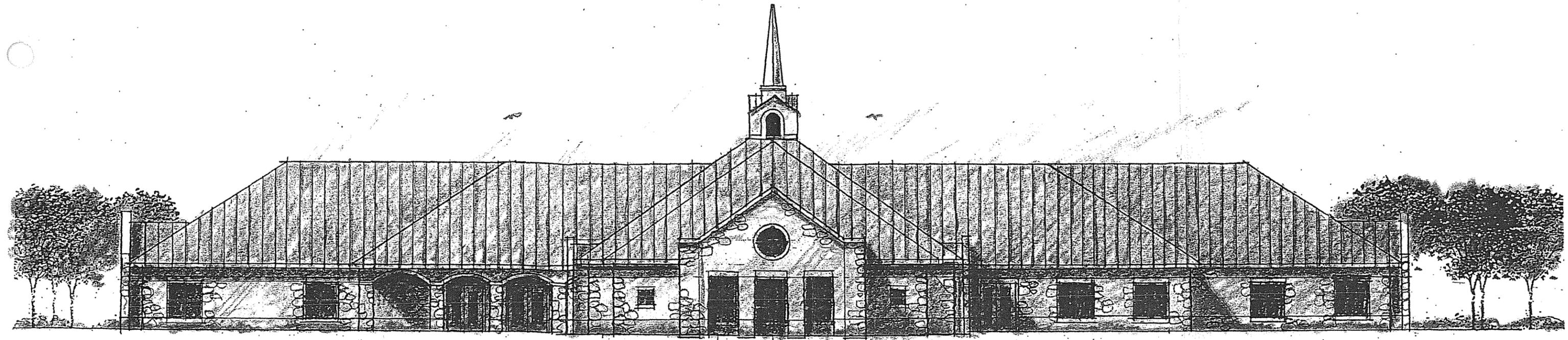
(r) Undeveloped Areas:

Undeveloped Phase II and Phase III land adjacent to Phase I construction shown on Exhibit "B", B1, Development/Site Plan, shall be returned to its natural condition following the construction of Phase I.

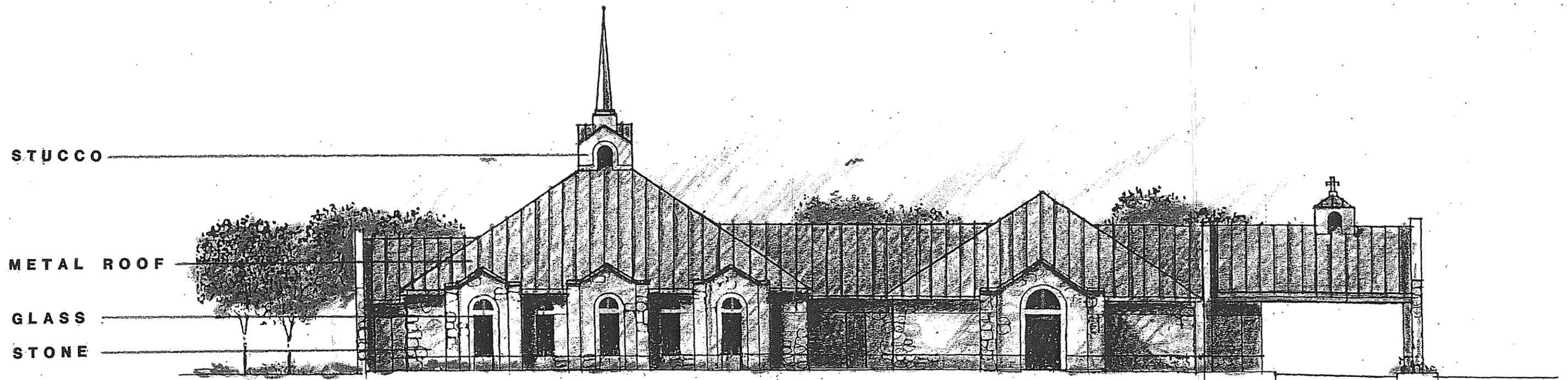
PLANNED DEVELOPMENT NO. 24
LAKE CITIES CHURCH OF CHRIST
TROPHY CLUB, TEXAS

EXHIBIT "D"

BUILDING ELEVATIONS

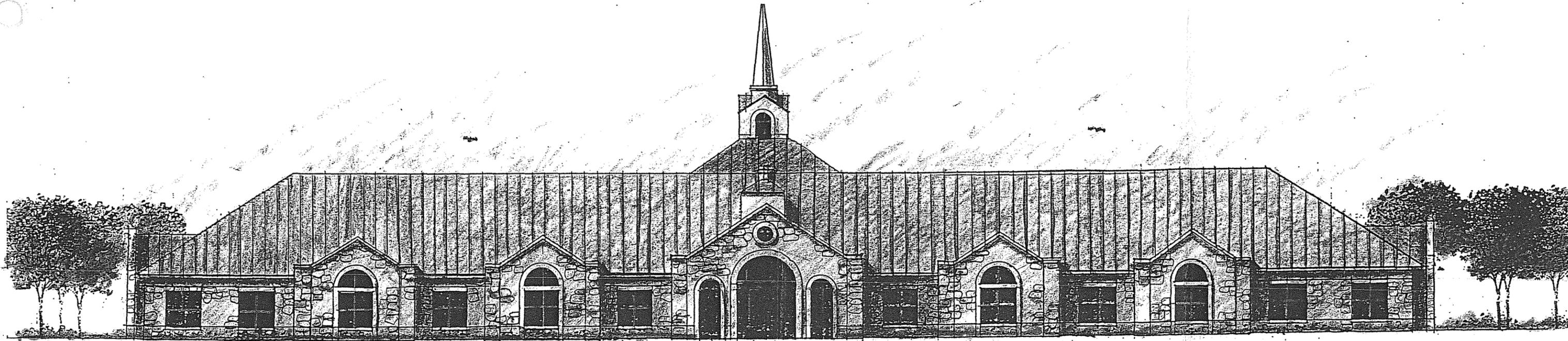


SOUTH ELEVATION

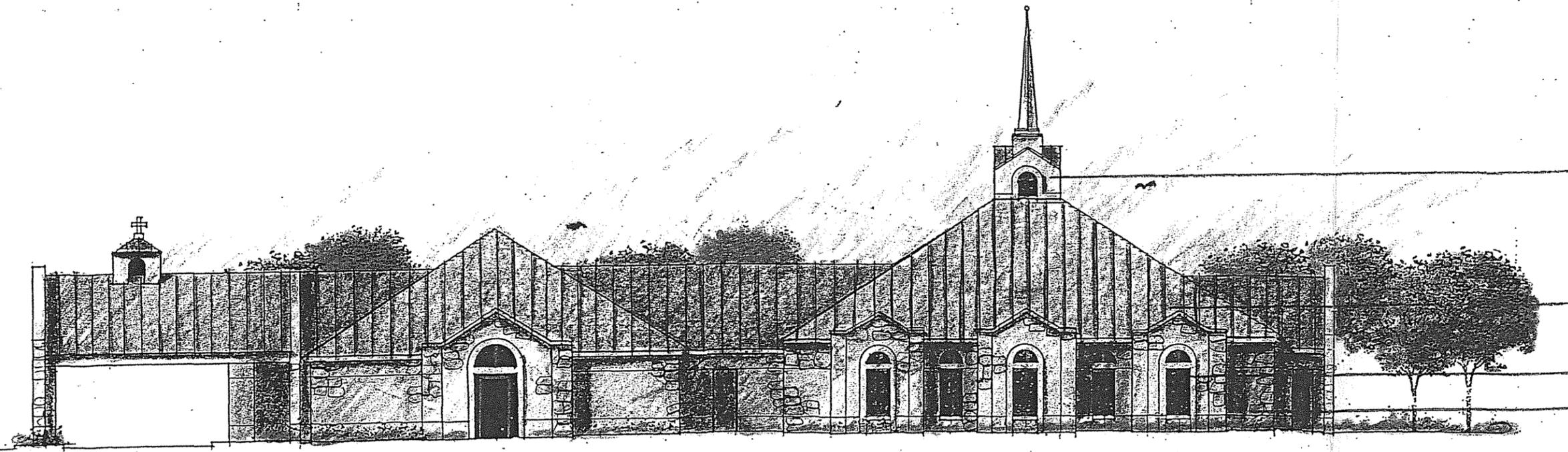


EAST ELEVATION

PHASE I



NORTH ELEVATION



STUCCO

METAL ROOF

GLASS

STONE

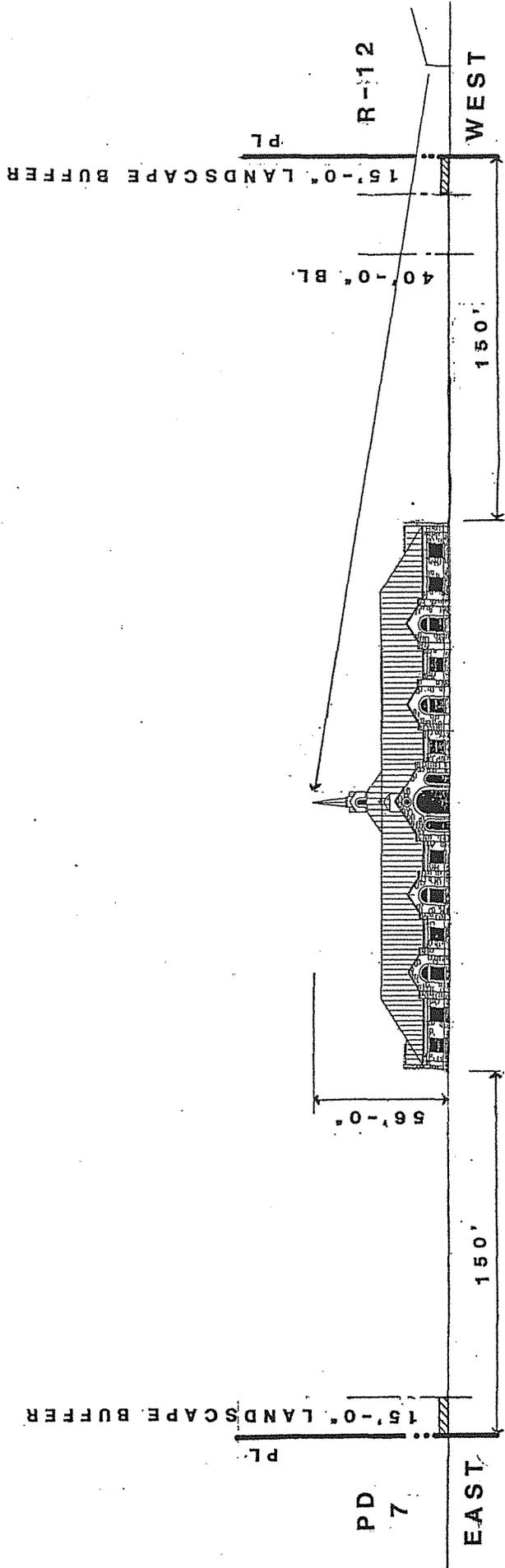
WEST ELEVATION

PHASE I

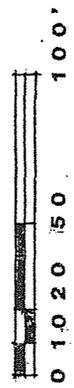
PLANNED DEVELOPMENT NO. 24
LAKE CITIES CHURCH OF CHRIST
TROPHY CLUB, TEXAS

EXHIBIT "E"

SITE LINE STUDIES



SITE ANALYSIS 1" = 50'-0"



PD-24

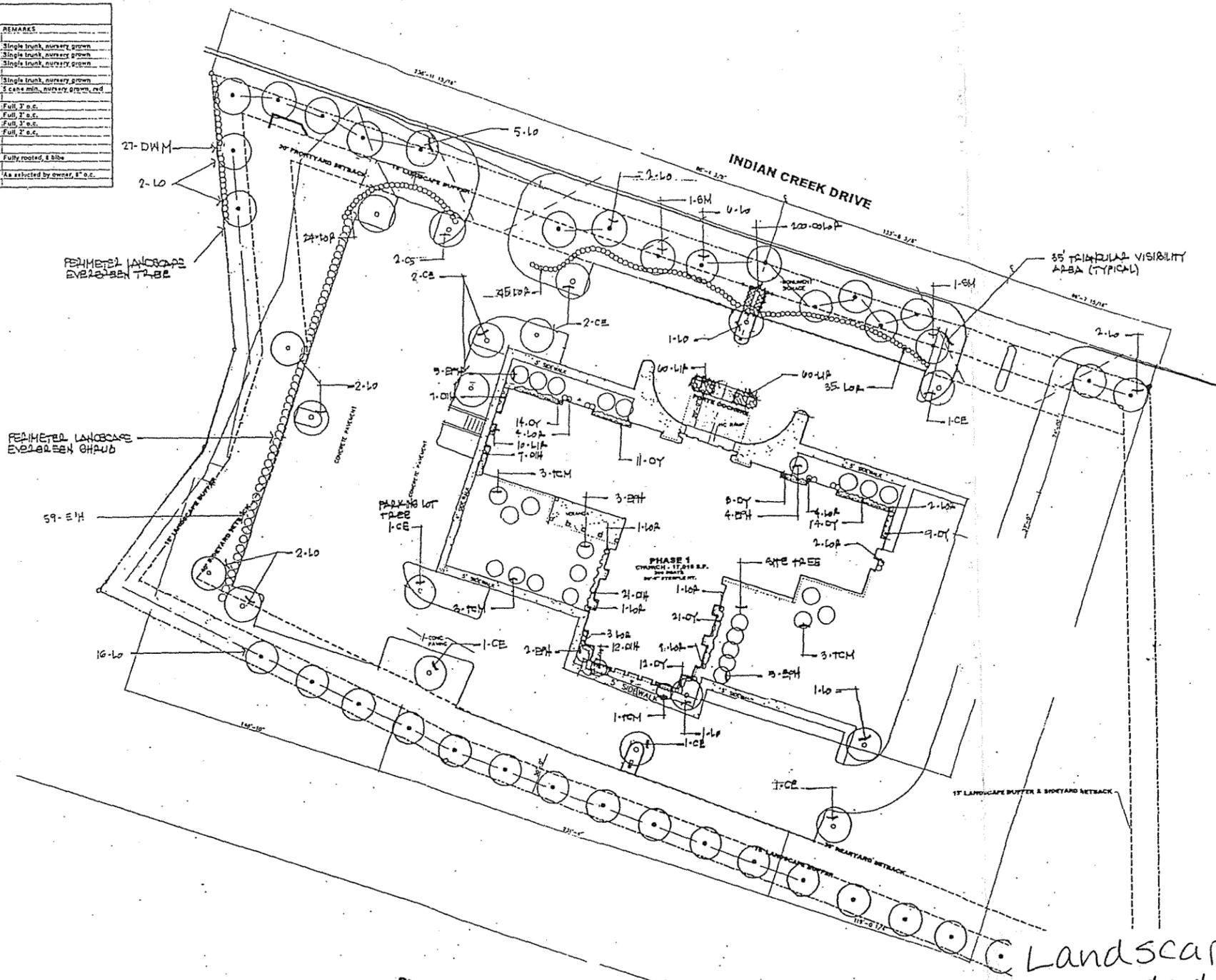
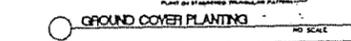
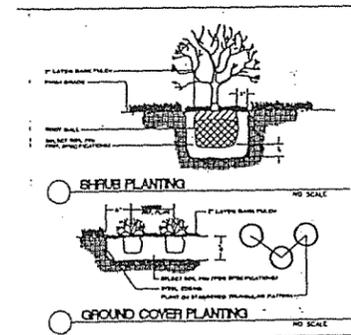
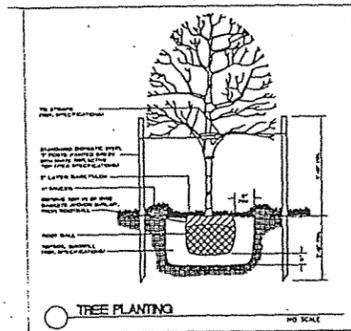
PLANNED DEVELOPMENT NO. 24
LAKE CITIES CHURCH OF CHRIST
TROPHY CLUB, TEXAS

EXHIBIT "F"

LANDSCAPE PLAN/PLANT LIST

BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	MIN. HT/SP	REMARKS
Magnolia grandiflora	Southern Magnolia	2	4" cal.	18' H	Single trunk, nursery grown
Quercus alpinus	Live Oak	19	4" cal.	12' H	Single trunk, nursery grown
Ulmus crassifolia	Cedar Elm	11	4" cal.	12' H	Single trunk, nursery grown
Ilex attenuata "East Palatka"	Tree East Palatka Holly	75	4" H	8' H	Single trunk, nursery grown
Ligustrum lucidum	Tree Grape Myrtle	20	4" H	8' H	5 cal. min., nursery grown, red
Myrica pauciflora	Dwarf Wax Myrtle	27	2 gal.	36" H	Full, 2" c.c.
Ilex vomitoria "Nana"	Dwarf Yaupon Holly	29	2 gal.	10" H	Full, 2" c.c.
Loposiphium chinensis "Burgundy"	Chinese Fringe Flower	124	2 gal.	28" H	Full, 2" c.c.
Raphiolepis indica "Clara"	Dwarf Indian Hawthorn	47	1 gal.	10" H	Full, 2" c.c.
Liriodendron "Majestic"	Liriodendron	130	1 gal.	Full	Fully rooted, 8 ribs
Seasonal color			4" pots	Full	As selected by owner, 2" c.c.

- Landscape Contractor is responsible for verification of all plant quantities.
- Adjustments to actual location of plant materials may be necessary due to existing location of lot lines (L.C.), easements, etc.
- Field preparation typical.
- Landscape Contractor to provide a unit cost (including installation) for ALL items.
- Verify location of all utility lines prior to installation. Field adjust for general layout of utility lines.
- When the same species of trees are planted or grouped in 2 or more areas, they should be matched in size, shape, growth characteristics, etc.
- Landscape Contractor is responsible for the calculation of all soil and hydroponic areas. Verify locations with owner.



Landscape Plan
amended -
17 May 2004

LANDSCAPE PLAN
SCALE: 1" = 30'-0"

BRENNER



Lake Cities
church of christ

F1
AMENDED

PLANT LIST

TREES

LIVE OAK*
RED OAK
BUR OAK
CHINESE PISTACIO
AUSTRIAN PINE*
MAGNOLIA*
CEDAR ELM
BALD CYPRESS
TEXAS ASH

ORNAMENTAL TREES

CREPE MYRTLE
YAUPON HOLLY*
WAX MYRTLE*
SAVANNA HOLLY*
FOSTERS HOLLY*
EAST PALATKA HOLLY*

LARGE SHRUBS

TEXAS SAGE*
ELAEAGNUS*
NANDINA*
LOROPETALUM*
CHERRY LAUREL*
CLEYERA*

SHRUBS

NELLIE R. STEVENS HOLLY
DWARF WAX MYRTLE
DWARF TEXAS SAGE
RED BARBERRY
INDIAN HAWTHORN
DWARF YAUPON HOLLY
HARBOUR SWARF NANDIAN
TAM JUNIPER

GROUND COVER

ASIAN JASMINE
LIRIOPE
SEASONAL COLOR (ANNUAL)

VINES

CROSS VINE
CORAL HONEYSUCLE
LADY BANKS ROSE
VIRGINIA CREEPER

GRASS

COMMON BERMUDA

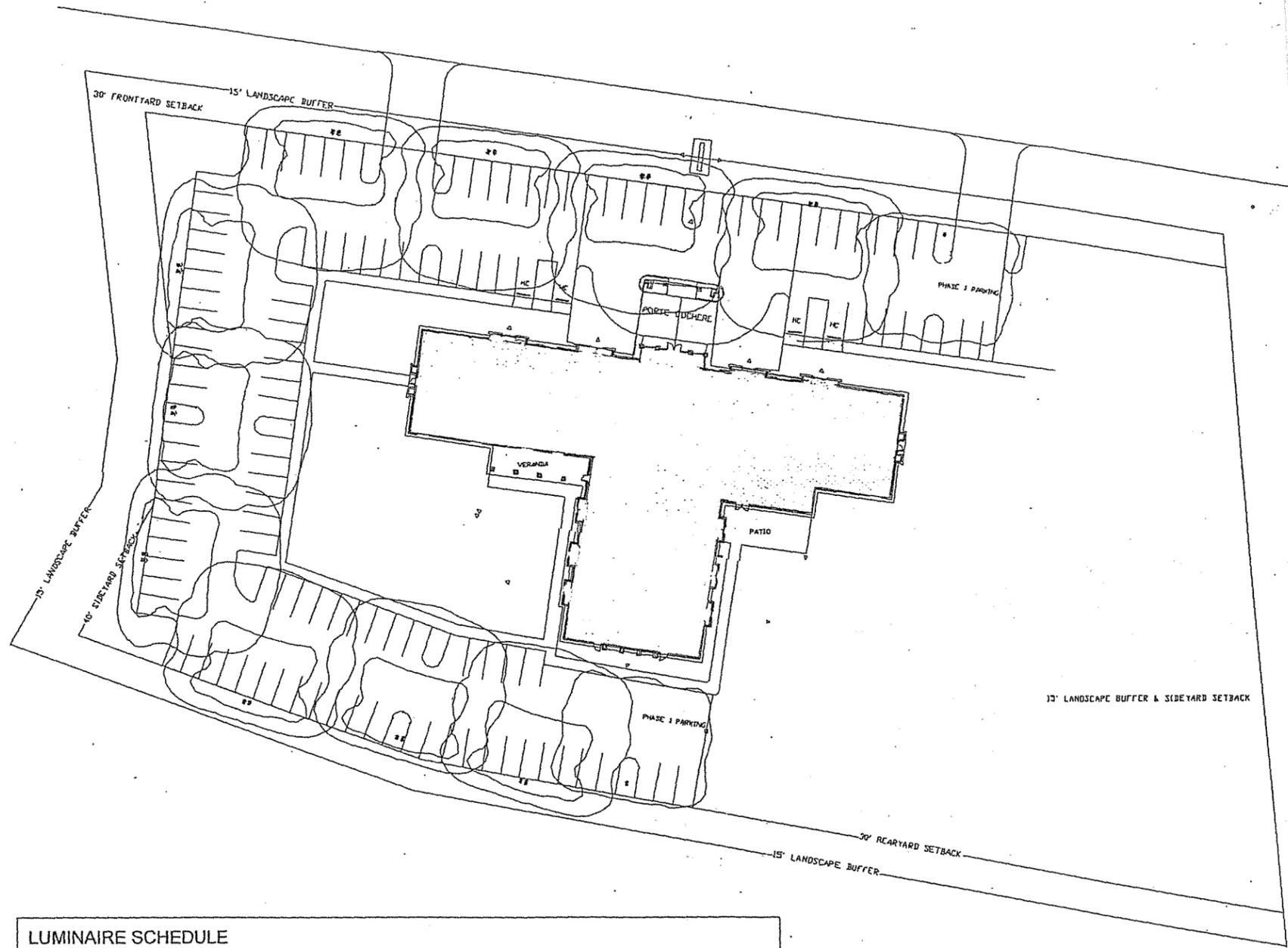
*Indicates evergreen plant material to be selected for perimeter landscape treatment with residential adjacency.

1. All plant material used, will be common to the area.
2. All proposed trees will be 4" caliper as measured 12" from finish grade.
3. All plant material will conform to the Town of Trophy Club Landscape Ordinance.
4. All existing trees will be protected when possible. Any protected trees, removed from site will be mitigated as required by Town of Trophy Club "Tree Preservation Ordinance".

PLANNED DEVELOPMENT NO. 24
LAKE CITIES CHURCH OF CHRIST
TROPHY CLUB, TEXAS

EXHIBIT "G"

PHOTOMETRIC PLAN/LIGHT FIXTURES



LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens LLF
	A	2	AS2 400M SR4SC	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SR4SC REFLECTOR.	ONE 400-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION.	32000 0.72
	B	10	AS2 400M SR4SC	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SR4SC REFLECTOR.	ONE 400-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION.	32000 0.72

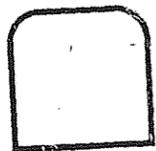
STATISTICS					
Description	Avg	Max	Min	Max/Min	Avg/Min
Church Grounds	2.2 fc	9.4 fc	0.0 fc	N/A	N/A
Parking Lot	4.7 fc	9.3 fc	1.0 fc	9.3:1	4.7:1

PHOTOMETRIC PLAN



EXHIBIT 'G'

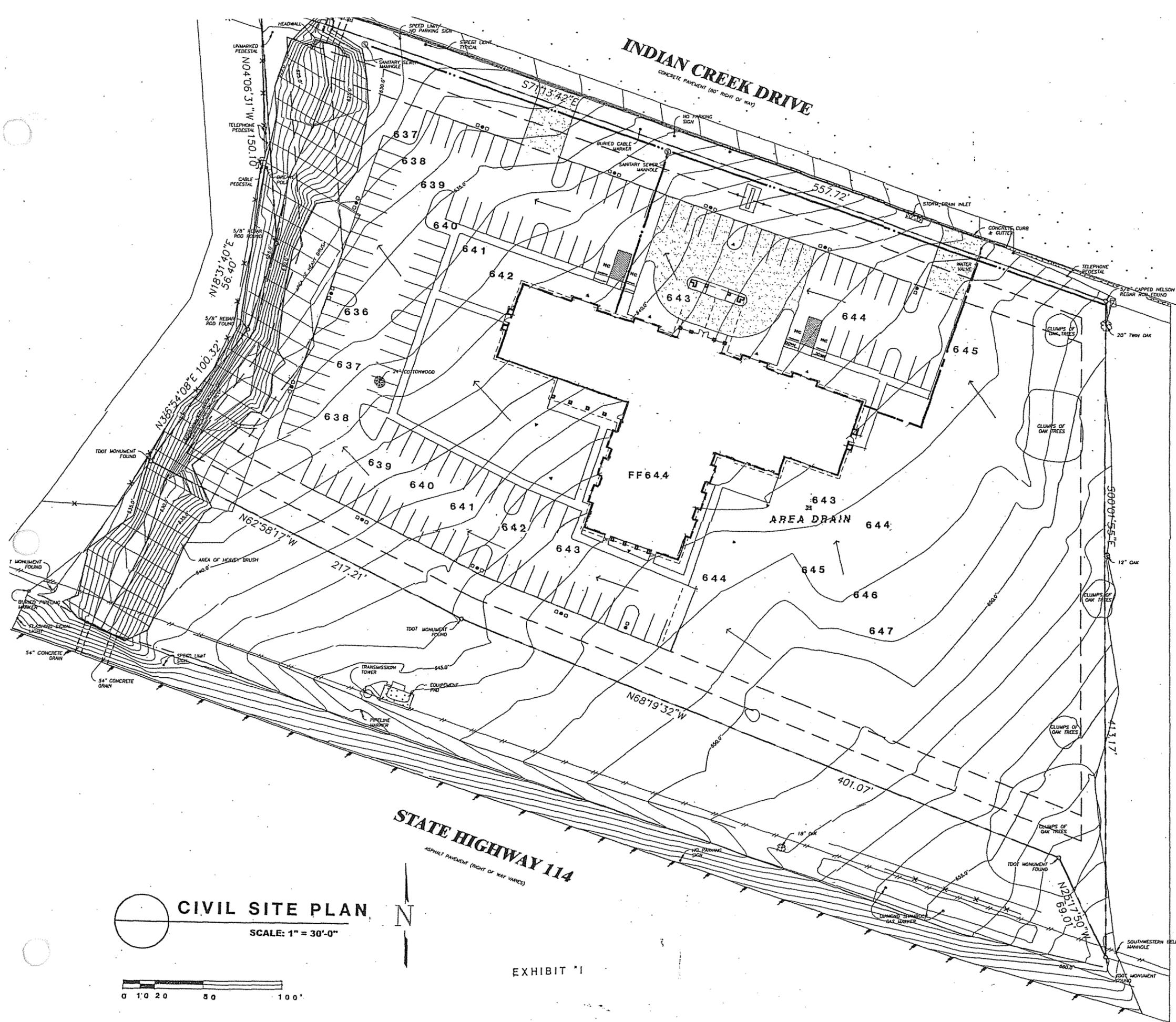
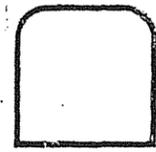
BARNES



Lake Cities
church of christ

PD-24

G1



CIVIL SITE PLAN
SCALE: 1" = 30'-0"
N

EXHIBIT "1"

- EXISTING SANITARY SEWER
- FLOW ARROW
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION 644
- PROPOSED WATER LINE

GENERAL NOTES:
1. PROPOSED UTILITY LINE LOCATIONS ARE APPROXIMATE AND WILL BE FINALIZED DURING CIVIL ENGINEERING

PLANNED DEVELOPMENT NO. 24
LAKE CITIES CHURCH OF CHRIST
TROPHY CLUB, TEXAS

EXHIBIT "J"

PHASE I DEVELOPMENT SCHEDULE

PHASE I
DEVELOPMENT SCHEDULE
LAKE CITIES CHURCH OF CHRIST
TROPHY CLUB, TEXAS

City Approvals Received	June-July 2002
Complete Construction Documents	August 2002
Construction	October 2002
Grand Opening	September 2003

Kerin Fleck

From: Kerin Fleck
Sent: Friday, July 18, 2003 3:39 PM
To: 'Randy Gerdes'
Cc: Randy Briggs; Deborah Howard
Subject: RE: Face of retaining wall material

Randy:

Thank you for being so patient with me. Things here have been very hectic these last few weeks.

Well, the retaining wall is not referenced in the PD so we won't have to redo anything with P&Z. I think the materials you referenced below will be okay, as long as the wall is masonry and compliments the main structure, that's the Town's main objective. As far as the change to the plans, when you make a final decision on the wall, just let us know and we'll pass it along to Graham Marcus. The wall will require a permit, so when you're ready to pull the permit, we'll also need to have the detail on the wall as well as the engineering documents.

Let me know if you have any other questions.

-Kerin

-----Original Message-----

From: randy@charterassociates.com [mailto:randy@charterassociates.com]
Sent: Tuesday, July 15, 2003 8:33 AM
To: Kerin Fleck; dhoward@trophyclub.org
Cc: Robin Povey; Mike Barnes; Jimmy Ferrell
Subject: Fw: Face of retaining wall material

Just checking in - any word on the items mentioned below?

Thanks

Randy Gerdes
 Charter Associates, Inc.
 214-763-1068 Cell
 972-226-8763 Fax

----- Original Message -----

From: Randy Gerdes
To: Kerin Fleck
Cc: Robin Povey ; Mike Barnes ; Jimmy Ferrell
Sent: Monday, July 07, 2003 2:44 PM
Subject: Face of retaining wall material

In an effort to reduce cost would we be able to perform either of the two following options on the retaining wall?

- Install an engineered dry stackable retaining wall (blocks would be the finish product)

or

- In lieu of the stone that will be used on the building could we use a split faced block as the finished product (in front of the poured in place concrete retaining wall) Mr. Barnes to help with color and

7/18/2003

design features.

Looking at all options.

I will try to call this afternoon so we can talk about it more.

Thanks

Randy Gerdes
Charter Associates, Inc.
214-763-1068 Cell
972-226-8763 Fax

7/18/2003