

TOWN OF TROPHY CLUB, TEXAS

ORDINANCE NO. 2002 – 29 P&Z

AN ORDINANCE OF THE TOWN OF TROPHY CLUB, TEXAS, REPEALING ORDINANCE NO. 2002-17 P&Z, AMENDING ORDINANCE NO. 2000-06 P&Z OF THE TOWN, ADOPTING PD PLANNED DEVELOPMENT NO. 23, ZONING REGULATIONS, AND ADOPTING A NEW ORDINANCE AMENDING ORDINANCE NO. 2000-06 P&Z, THE SAME BEING THE COMPREHENSIVE ZONING ORDINANCE, BY ADOPTING NEW REGULATIONS FOR PD PLANNED DEVELOPMENT NO. 23, AND AMENDING THE OFFICIAL ZONING MAP OF THE TOWN BY CHANGING THE ZONING ON A CERTAIN TRACT OF LAND DESCRIBED AS A 7.842 ACRE TRACT OF LAND LOCATED GENERALLY TO THE NORTH OF STATE HIGHWAY 114, EAST OF PD NO. 7, THE PLANTATION APARTMENTS, AND SOUTH OF HERITAGE COURT SOUTH, AND BEING MORE PARTICULARLY DESCRIBED IN EXHIBIT "A", ATTACHED HERETO AND INCORPORATED HEREIN, FROM ITS PREVIOUS ZONING OF "CG", COMMERCIAL GENERAL, TO PD PLANNED DEVELOPMENT NO. 23, TROPHY CLUB MEDICAL PLAZA; PROVIDING THAT SUCH TRACT OF LAND SHALL BE USED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COMPREHENSIVE ZONING ORDINANCE AND ALL OTHER APPLICABLE ORDINANCES OF THE TOWN; PROVIDING THAT THE ZONING MAP SHALL REFLECT THE PD PLANNED DEVELOPMENT NO. 23 ZONING DISTRICT FOR THE SUBJECT PROPERTY; PROVIDING A DEVELOPMENT/SITE PLAN; PROVIDING DEVELOPMENT STANDARDS; PROVIDING BUILDING ELEVATIONS; PROVIDING SITE LINE STUDIES; PROVIDING A LANDSCAPE PLAN AND PLANT LIST; PROVIDING A CIVIL SITE PLAN; PROVIDING FOR A PHOTOMETRIC PLAN AND LIGHT FIXTURES; ESTABLISHING SIGN CRITERIA; ESTABLISHING RETAINING WALL AND FENCE CRITERIA; SETTING FORTH A DEVELOPMENT SCHEDULE; PROVIDING A CUMULATIVE REPEALER CLAUSE; PROVIDING FOR SAVINGS; PROVIDING SEVERABILITY; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH A VIOLATION OCCURS OR CONTINUES; PROVIDING FOR PUBLICATION; PROVIDING FOR ENGROSSMENT AND ENROLLMENT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town Council of the Town of Trophy Club, Texas (the "Town"), is authorized and empowered by law, in accordance with Chapter 212 of the Texas Local Government Code, to regulate the subdivision of land and property development within the Town;

WHEREAS, on May 6, 2002, the Town adopted Ordinance No. 2002-17 P&Z, amending Ordinance No. 2000-06 P&Z of the Town, the same being the Comprehensive Zoning Ordinance, and amending the official zoning map of the Town by changing the zoning on a certain tract of land described as a 7.843 acre tract of land located generally to the North of State Highway 114, East of PD No. 7, the Plantation Apartments, and South of Heritage Court South, and being more particularly described in Exhibit "A", attached hereto and incorporated herein, from its then current zoning of "CG", Commercial General, to PD Planned Development No. 23, Trophy Club Medical Plaza; and

WHEREAS, the Town Council now deems it necessary for the safe, orderly, and healthful development of the Town and in the best interest of the Town of Trophy Club, Texas, to repeal Ordinance No. 2002-17 P&Z in its entirety and simultaneously adopt new provisions for the land (the "Land"), collectively described as a 7.842 acre tract of land previously zoned "CG" Commercial General, such Land being more specifically described in Exhibit "A" attached hereto and incorporated herein, by changing the zoning of the Land into PD Planned Development No. 23, with Tract 1 ("Phase 1") consisting of approximately 4.609 acres of land and Tract 2 ("Phase 2") consisting of approximately 3.233 acres of land and amending the official Zoning District Map of the Town in accordance with Ordinance No. 2000-06 P&Z of the Town (the "Comprehensive Zoning Ordinance"); and

WHEREAS, all legal notices, requirements and conditions having been complied with, the case to rezone the Land came before the Planning and Zoning Commission; and

WHEREAS, after public notices were given in compliance with State law and public hearings were conducted, and after considering the information submitted at those public hearings and all other relevant information and materials, the Planning and Zoning Commission of the Town has recommended to the Town Council the adoption of the amendments to Comprehensive Zoning Ordinance No. 2000-06 P&Z as set forth in this Ordinance; and

WHEREAS, after complying with all legal notices, requirements, and conditions, a public hearing was held before Town Council at which the Town Council considered, among other things, the character of the land and its suitability for particular uses, with a view of encouraging the most appropriate use of land in the Town, and does hereby find that the rezoning approved hereby accomplishes such objectives; and

WHEREAS, the Town Council has determined that there is a necessity and need for the change in zoning and that the proposed change is consistent with the Comprehensive Land Use Plan.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF TROPHY CLUB, TEXAS:

SECTION 1.
INCORPORATION OF PREMISES

The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

pedestrian circulation; signs; screening standards; fire lanes; mechanical and electrical equipment; hours of operation; and development schedule. Such Development Standards shall be adhered to in carrying out the development of the land in accordance with this Ordinance, and shall individually and collectively constitute conditions precedent to the granting of any Certificate of Occupancy for all structures within PD Planned Development No. 23.

3. Building Elevations. The building standards for this PD Planned Development are attached hereto as Exhibit "D", "Building Elevations", and are incorporated herein as if copied in their entirety.
4. Site Line Studies. The site line studies for this PD Planned Development are attached hereto as Exhibit "E", "Site Line Studies", and are incorporated herein as if copied in their entirety.
5. Landscape Plan and Plant List. The landscape plan and plant list for this PD Planned Development are attached hereto as Exhibit "F", "Landscape Plan and Plant List", and are incorporated herein as if copied in their entirety.
6. Civil Site Plan. The civil site plan for this PD Planned Development is attached hereto as Exhibit "G", "Civil Site Plan", and is incorporated herein as if copied in its entirety.
7. Photometric Plan and Light Fixtures. A photometric plan and light fixture requirements for this PD Planned Development are set forth in Exhibit "H", "Photometric Plan and Light Fixtures", which is attached hereto and incorporated herein as if copied in its entirety.
8. Sign Criteria. Signage requirements for this PD Planned Development are set forth in Exhibit "I", "Sign Criteria", which is attached and incorporated herein as if copied in its entirety.
9. Retaining Wall and Fence Criteria. The retaining wall and fence requirements for this PD Planned Development are set forth in Exhibit "J", "Retaining Wall and Fence Criteria", which is attached hereto and incorporated herein as if copied in its entirety.
10. Development Schedule. The development schedule for Tract 1 (Phase 1) of this PD Planned Development is set forth in Exhibit "K", "Development Schedule", which is attached hereto and incorporated herein as if copied in its entirety.

SECTION 2.
FINDINGS

After due deliberations and consideration of the recommendation of the Planning and Zoning Commission and the information and other materials received at the public hearing, the Town Council has concluded that the adoption of this Ordinance is in the best interests of the Town of Trophy Club, Texas, and of the public health, safety and welfare.

SECTION 3.
REZONING

Ordinance No. 2000-06 P&Z of the Town of Trophy Club, Texas, the same being the Town's Comprehensive Zoning Ordinance, is hereby amended in the following particulars, and all other articles, chapters, sections, paragraphs, sentences, phrases and words are not amended but are hereby ratified and affirmed:

- A. The zoning on the Land, more particularly described in Exhibit "A", attached hereto and incorporated herein, is hereby changed from its previous zoning of "CG" Commercial General to PD Planned Development District No. 23, with Tract 1 ("Phase 1") consisting of approximately 4.609 acres of land and Tract 2 ("Phase 2") consisting of approximately 3.233 acres of land, for use in accordance with the requirements of this Ordinance and all other applicable ordinances, rules, and regulations of the Town. Requirements of this Ordinance are more specifically described and set forth in Exhibits "A", "B", "C", "D", "E", "F", "G", "H", "I", "J" and "K", which are attached hereto and incorporated herein for all purposes, and shall apply to both Phase 1 and Phase 2 of PD Planned Development No. 23 unless otherwise specified in such Exhibits. In the event of any ambiguities or conflicts between the written word in the Development Standards and the illustrations provided in the Exhibits to this ordinance, the written word shall control.
1. Development/Site Plan. A planned development/site plan for the Land, and all parts thereof, is attached hereto as Exhibit "B", "Planned Development/Site Plan" and incorporated herein as if copied in its entirety. Such Planned Development/Site Plan shall be adhered to in carrying out the development of the land in accordance with this Ordinance, and compliance with each and every part of such plan shall constitute a condition precedent to the issuance of any building permit for the land in this PD Planned Development District.
 2. Development Standards. The development standards for this PD Planned Development are attached hereto as Exhibit "C", "Development Standards", and are incorporated herein as if copied in their entirety. Such standards and regulations include, but are not limited to, a general purpose; size of tracts; uses generally, as specified for; limitation of uses; area, building and site regulations; off-street parking; off-street loading; landscaping requirements; tree preservation; design requirements;

SECTION 4.
APPLICABLE REGULATIONS

In all respects the Land shall be subject to the applicable regulations contained in the Comprehensive Zoning Ordinance and all other applicable and pertinent ordinances and regulations of the Town.

SECTION 5.
ZONING MAP

The Planning and Zoning Coordinator is hereby directed to mark and indicate on the official Zoning District Map of the Town the zoning change herein made.

SECTION 6.
CUMULATIVE REPEALER

This Ordinance shall be cumulative of all other Ordinances and shall not repeal any of the provisions of such Ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance. Ordinances, or parts thereof, in force at the time this Ordinance shall take effect and that are inconsistent with this Ordinance are hereby repealed to the extent that they are inconsistent with this Ordinance. Provided however, that any complaint, action, claim or lawsuit which has been initiated or has arisen under or pursuant to such other Ordinances on the date of adoption of this Ordinance shall continue to be governed by the provisions of such Ordinance and for that purpose the Ordinance shall remain in full force and effect.

SECTION 7.
SAVINGS

All rights and remedies of the Town of Trophy Club, Texas, are expressly saved as to any and all violations of the provisions of any other Ordinance affecting regulations governing and regulating the zoning, platting, and subdivision of land which have secured at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such Ordinances same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

SECTION 8.
SEVERABILITY

If any section, article, paragraph, sentence, clause, phrase or word in this Ordinance or application thereof to any person or circumstance is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of this Ordinance, and the Town Council hereby declares it would have passed such remaining portions of this Ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

SECTION 9.
PENALTY

It shall be unlawful for any person to violate any provision of this Ordinance, and any person violating or failing to comply with any provision hereof shall be fined, upon conviction, in an amount not more than Two Thousand Dollars (\$2,000.00), and a separate offense shall be deemed committed each day during or on which a violation occurs or continues.

SECTION 10.
PUBLICATION

The Town Secretary of the Town of Trophy Club is hereby directed to publish the Caption, Penalty and Effective Date of this Ordinance as required by Section 52.011 of the Texas Local Government Code.

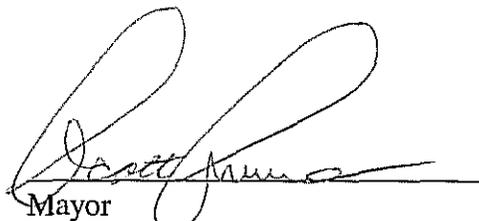
SECTION 11.
ENGROSSMENT AND ENROLLMENT

The Town Secretary of the Town of Trophy Club is hereby directed to engross and enroll this Ordinance by copying the exact Caption, Penalty and Effective Date in the minutes of the Town Council and by filing this Ordinance in the ordinance records of the Town.

SECTION 12.
EFFECTIVE DATE.

This Ordinance shall become effective from and after its date of adoption and publication as provided by law, and it is so ordained.

PASSED AND APPROVED by the Town Council of the Town of Trophy Club, Texas, this 19th day of August, 2002.


Mayor
Town of Trophy Club, Texas

ATTEST:


Town Secretary
Town of Trophy Club, Texas



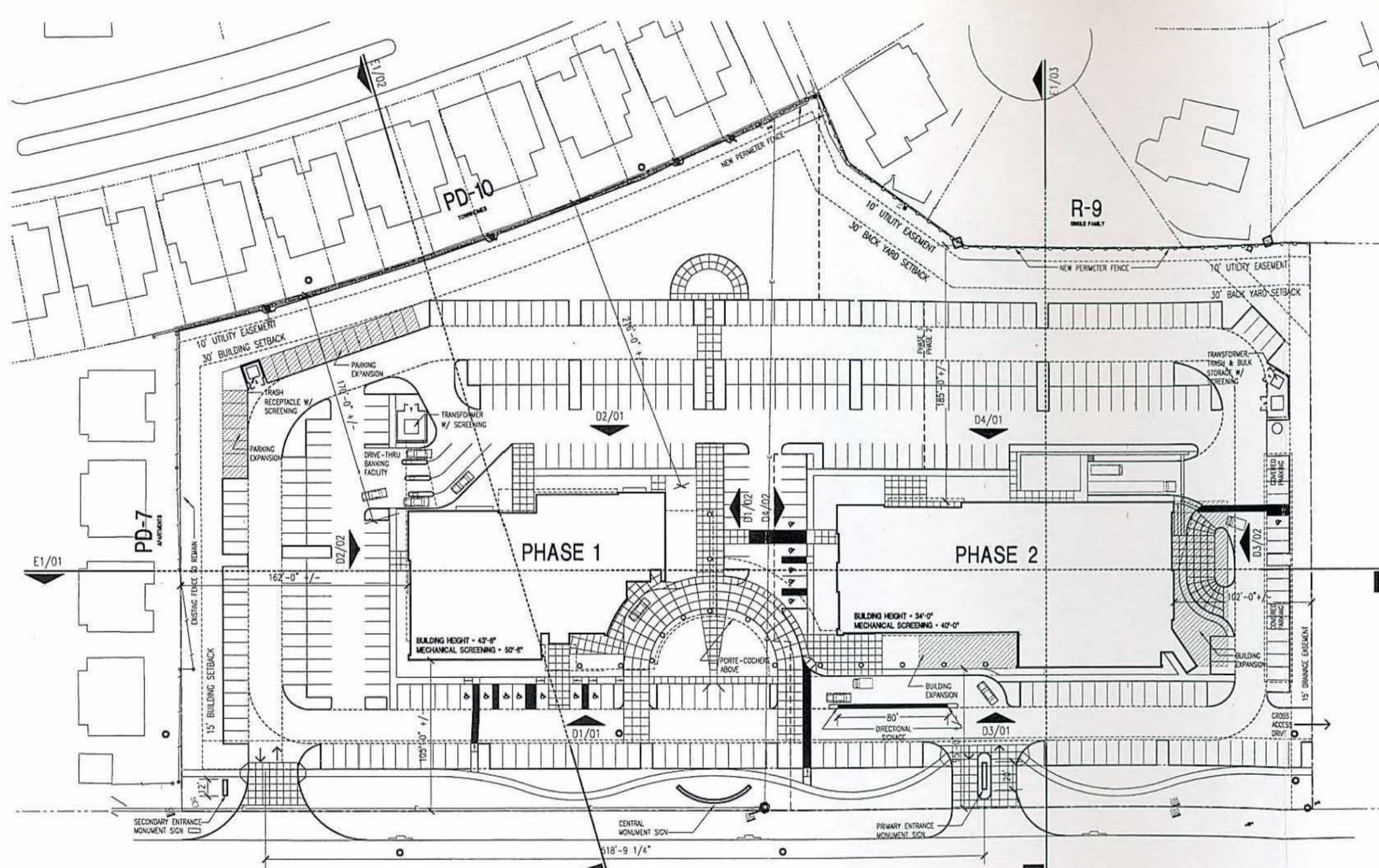
[SEAL]

APPROVED AS TO FORM:

Patricia Adams

Town Attorney

Town of Trophy Club, Texas



PHASE 1

- 60,000SF +/-
- 3 STORIES + MECHANICAL SCREENING - 50'-0"

PROPOSED USES

- MEDICAL OFFICE BUILDING, CANCER CLINIC, BANKING FACILITY AND OTHER HEALTH CARE RELATED USES - 65,900SF (U250) - 264 CARS

OFF-STREET PARKING

- PARKING REQUIRED (U250) - 264 CARS
- PROVIDED PARKING (U250) - 264 CARS

PHASE 2

- 60,000 SF +/-
- 2 STORIES + MECHANICAL SCREENING - 44'-0"

PROPOSED USES

- EXTENDED STAY SURGERY CENTER & OTHER HEALTH CARE RELATED USE - 52,000SF + 8,000SF EXPANSION
- SURGERY CENTER - 43,800SF (U345) - 127 CARS
- IMAGING - 8,000SF (U390) - 15 CARS
- KITCHEN / DINING - 2,200SF (0)
- EXPANSION SURGERY CENTER - 8,000SF (U345) - 23 CARS

OFF-STREET PARKING

- PARKING REQUIRED - 142 CARS
- PROVIDED PARKING - 142 CARS
- EXPANSION PARKING PROVIDED - 23 CARS

SITE INFORMATION

- 20% OPEN SPACE REQUESTED
- 33% OPEN SPACE PROVIDED
- 60% MAXIMUM BUILDING COVERAGE REQUESTED
- 15% BUILDING COVERAGE PROVIDED
- 80% MAXIMUM IMPERVIOUS AREA REQUESTED
- 70% +/- IMPERVIOUS AREA PROVIDED
- 10% MINIMUM INTERIOR LANDSCAPING REQUESTED
- 10% INTERIOR LANDSCAPING PROVIDED

01 Site Plan

GRAPHIC SCALE 1" = 40'-0"

TROPHY CLUB MEDICAL PLAZA

TROPHY CLUB, TEXAS

OWNER / DEVELOPER
The Cirrus Group
1700 Pacific Ave., Suite 2730
Dallas, Texas 75201
T. 214.853.1722
F. 214.953.0278



4121 Commerce Street
Suite 1
Dallas Texas 75228
T. 214.824.7040
F. 214.887.0559

**PRELIMINARY
NOT FOR
CONSTRUCTION**

Issue Log:

01/17/02	PD SUBMITTAL
02/07/02	REVISED PD SUBMITTAL
04/18/02	REVISED PD SUBMITTAL
05/08/02	REVISED PD SUBMITTAL
07/25/02	AMENDED PD SUBMITTAL
08/01/02	AMENDED PD SUBMITTAL

Date:
AUGUST 1, 2002

Project No.
1478 / 1520

Sheet Title:
**DEVELOPMENT /
SITE PLAN**

Drawing No.

B1



PLANNED DEVELOPMENT No. 23.
TROPHY CLUB MEDICAL PLAZA
TROPHY CLUB, TEXAS

Exhibit "C"

Development Standards

DEVELOPMENT STANDARDS
TROPHY CLUB MEDICAL PLAZA
TROPHY CLUB, TEXAS

The development of the Land described in Exhibit "A" – Legal Description (a copy of which is attached hereto and incorporated herein) consisting of approximately 7.842 acres of land shall be in accordance with Exhibit "B" – Development/Site Plan of the development (a copy of which is attached hereto and incorporated herein), all other Exhibits attached to or incorporated herein, the Comprehensive Zoning Ordinance, all other applicable ordinances and regulations of the Town of Trophy Club, and the following Development Standards, conditions and requirements:

In the event of a conflict between the terms and requirements of this Ordinance and the foregoing, the requirements of this Ordinance shall control.

A. Purpose: The purpose of the Planned Development is to provide locations to accommodate low intensity business or professional offices that are designed and sited to be compatible with nearby residential uses and which primarily provide services to residents of the community. The use and development of Phase 1 and 2 as shown on Exhibit "B" – Development/Site Plan, shall be in accordance with the following:

1. Tract 1: The following standards shall apply:

(a) Size of Tract: Tract 1 shall contain approximately 341,604 SF (7.842 acres) of land.

(b) Uses Generally: In the development and use of Tract 1, no land shall be used and no building or structure shall be installed, erected or converted to any use other than the following:

(i) Permitted Uses:

(1) Phase 1 shall be used as a Medical Office Building that will incorporate a Cancer Clinic, other Health Care Related Uses and a Banking Facility.

(2) Phase 2 shall be used as an Extended Stay Surgery Center and other Health Care Related Uses.

(ii) Conditional Uses: Conditional uses may be permitted within Tract 1 in accordance with the regulations provided in the *Comprehensive Zoning Ordinance, Section 44, Conditional Permit*.

(c) Limitation of Uses: Any use not expressly permitted or allowed by permit herein is prohibited.

(d) Area, Building and Site Regulations: The following minimum standards shall be required, measured from property lines.

(i) Density Regulations: None

(ii) Height Regulations:

(1) Phase 1 - No building shall exceed forty six (46) feet or three stories in height + ten (10) feet of mechanical screening or parapets.

(2) Phase 2 - No building shall exceed thirty four (34) feet or two stories in height + ten (10) feet of mechanical screening or parapets.

(iii) Open Space: At least twenty percent (20%) of the total lot area shall be devoted to non-vehicular open space.

(iv) Maximum Building Coverage: The combined area covered by all main and accessory buildings and structures shall not exceed sixty percent (60%) of the total lot area.

(v) Maximum Impervious Area: The combined area occupied by all buildings, structures, off-street parking and paved areas shall not exceed eighty percent (80%) of the lot area.

(vi) Depth of front yard: Tract 1 – Thirty (30) foot minimum

(vii) Depth of rear yard: Tract 1 – Thirty (30) foot minimum.

(viii) Width of side yard on each side: Tract 1 – Fifteen (15) foot minimum each side.

(ix) Buffered Area Regulations:

North Property Line: Whenever located adjacent to an existing residential development or an area zoned for residential purposes, without an existing fence or wall, all principal buildings or structures shall be set back a minimum of forty (40) feet from the adjoining property line. The

setback area shall contain only off-street parking, fencing, as specified in Exhibit "J" - Fence Criteria, (a copy of which is attached hereto and incorporated herein), berms or trees to provide visual and acoustical privacy and to adequately buffer adjoining uses as required by the *Comprehensive Zoning Ordinance, Section 28, "CG" Commercial General District Regulations*.

West Property Line: Whenever located adjacent to an existing residential development or an area zoned for residential purposes with an existing fence or wall, all principal buildings or structures shall be set back a minimum of forty (40) feet from the adjoining property line. The setback area shall contain only off-street parking and trees to supplement the existing fence.

North and West Property Lines: The landscape buffer adjacent to a residential development shall contain large shade trees and/or large shrubs and/or ornamental trees and shall be evergreen to provide adequate screening year-round.

(e) Off-Street Parking: Off-street parking shall be provided in accordance with the provisions of the *Comprehensive Zoning Ordinance, Section 48, Off-Street Parking Requirements*, and all other applicable ordinances of the Town, except as defined below:

(1) Parking Ratio for Phase 1 – Medical Office Building (1/250), Cancer Clinic (1/250), other Health Care Related Uses (1/250) and Banking Facility (1/250)

(2) Parking Ratio for Phase 2 – Extended Stay Surgery Center - (Surgery Center -1/345, Imaging Center 1/390, Kitchen/Dining 0)

(i) Parking lots shall be designed with compartmentalized parking lots for all areas of over one hundred (100) spaces. Island requirement will be maintained as per item (viii) in this section.

(ii) Access to individual developments shall be obtained through mutual access and cross access drives on-site as indicated on Exhibit "B" - Development/Site Plan.

- (iii) Total driveway entrances shall not exceed three (3) entrances for Phase 1 & 2 cumulative.
- (iv) Driveways shall have a minimum separation of one hundred fifty (150) feet.
- (v) Driveway access will be subject to review, approval and permitting by TxDOT.
- (vi) Parking spaces shall not be permitted within the building line setback areas unless noted on Exhibit "B" - Development/Site Plan. Drive lanes shall only be permitted in building line setback area when crossing setback area.
- (vii) A minimum of ten percent of the gross parking areas shall be devoted to living landscaping which includes grass, ground cover, plants, shrubs and trees, as specified in Exhibit "F" – Landscape Plan & Plant List (a copy of which is attached hereto and incorporated herein). Gross parking area is to measure from the edge of the parking and/or driveway paving and sidewalk.
- (viii) There shall be a maximum of fifteen (15) consecutive spaces between planter islands with at least one four (4) inch caliper tree in each island. Interior planter islands shall have a minimum size of nine by eighteen feet. Landscaping in the islands shall include a combination of ground cover in addition to the required tree. Such landscaping shall be as specified in Exhibit "F".
- (ix) A raised curb shall be required for all parking and driving surfaces.
- (x) Curb stops shall be required on all parking spaces that "head-in" to any landscaped area. These curb stops shall be placed such that the overhang of a vehicle is contained totally within the limits of the parking space.
- (xi) All entrance drives shall be accented with scored and colored concrete, as detailed on the Landscape Plan.
- (xii) Crosswalks, when provided, shall be marked similar to decorative street pavement.

- (f) Off-Street Loading: Off-street loading shall be provided as required by the *Comprehensive Zoning Ordinance, Section 49, Off Street Loading Requirements*.
- (g) Landscaping Requirements: Landscaping shall be required in accordance with the *Comprehensive Zoning Ordinance, Section 47, Landscaping Regulations*, except as defined below:
- (i) The owner/developer of the land shall maintain landscaping. Any dead landscaping material shall be removed and replaced within forty-five (45) days.
 - (ii) All trees shall be nursery-grown containerized trees.
 - (iii) A front setback area shall be devoted to a landscape buffer. Only drive crossings that provide ingress and egress will be allowed.
 - (iv) The front landscape buffer (Tract 1) shall contain trees of four (4) inch caliper measured twelve (12) inches from the ground and shall be twelve (12) feet in height planted on thirty (30) foot centers. In addition, shrubs and/or berms, or a combination thereof, shall be provided between the trees such that a screen of a minimum of three feet in height shall screen the parking areas.
 - (v) The back landscape buffer (Tract 1) shall contain trees of four (4) inch minimum caliper measured twelve (12) inches from the ground and shall be twelve (12) feet in height planted on thirty (30) foot centers. In addition, the plant material adjacent to R-9 and PD-10 shall be large shade trees, large shrubs and ornamental trees and shall be evergreen to aid in year-round screening.
 - (vi) The west side landscape buffer shall contain trees of four (4) inch minimum caliper measured twelve (12) inches from the ground and shall be twelve (12) feet in height planted on thirty (30) foot centers.
 - (vii) All landscaped areas shall be irrigated.
 - (viii) All plant material must be selected from the mandatory plant list attached hereto as Exhibit "F" - Landscape Plan and Plant List

Exhibit "F" – Landscape Plan and Plant List has been included with this Ordinance to generally illustrate the intent and location of landscaping tree massing. Trees shall be four (4) inch minimum caliper at the time of installation.

Detail landscape plans, as illustrated in Exhibit "F", sealed by a registered landscape architect, shall be provided for approval on each tract at the time of final Site Plan submittal.

- (h) Tree Preservation: All protected trees will be preserved. In the event that it is necessary to remove a protected tree, the tree will be replaced at a minimum three (3) inch caliper one and one-half (1 ½) times the total inches removed. Trees will be a minimum of seven (7) feet in height when planted.
- (i) Design Requirements:
 - (i) All trash receptacles shall be screened with a masonry and wood fence of material similar to the main structure, with appropriate landscaping on three sides and shall have a screening gate, which shall remain closed except when being serviced.
 - (ii) Mechanical and electrical equipment, including air conditioning units, shall be designed, installed and operated to minimize noise impact on surrounding property. All such equipment shall be screened from public view with flat metal panel or masonry screening. All ground-mounted equipment shall be screened from view with masonry and/or wood construction similar to the primary structure or landscape screening. Line of sight drawings as shown on Exhibit "E" - Site Line Studies (a copy of which is attached and incorporated herein) will be required to illustrate that adequate screening is provided.
 - (iii) Parking lot lighting has been included with this Ordinance to generally illustrate the intent and location as shown on Exhibit "H" – Photometric Plan & Light Fixtures, (a copy of which is attached hereto and incorporated herein). Exterior lighting shall conform to the requirements as specified in Exhibit "H".
 - a) Exterior lighting fixtures shall be mounted on twenty-five (25) foot poles on two (2) foot concrete bases, measured from the adjacent

ground, shall direct light toward the ground, and shall be shielded. Exterior lighting fixtures shall not exceed a maximum height of twenty-seven (27) feet total. Perimeter lighting shall be designed to reflect away from any adjacent residential area.

- b) Building lighting shall be mounted to building face or in ground fixtures and oriented to wash building with light.
 - c) Ceiling mounted lights will be provided at the entry canopies and porte-cochere.
 - d) Spillover lighting shall not exceed 0.25 foot-candles at any residential property line.
 - e) The maximum foot-candles on site shall not exceed twenty (20) foot-candles.
 - f) All freestanding parking lot lights shall have a maximum cut-off of eighty degrees.
 - g) The final site plan shall provide a photometric plan of the site for approval.
- (iv) Design of structures shall include relief to walls and roofs. The roof of structures shall be a flat roof construction, but may provide a variation of roofline.
- (v) The entry canopy system shall provide columns constructed of similar or complimentary masonry material as the primary structure.
- (vi) Uniform architectural treatment shall be provided to all sides of the structure.
- (vii) All principal and accessory buildings and structures shall be of exterior fire resistant construction having one hundred percent of the total exterior walls, excluding doors, windows, porches, balconies, canopies and mechanical screening, constructed of brick or synthetic limestone. E.I.F.S and/or metal panels shall be used only as an accent material and screening. All windows and doors shall be of aluminum construction. Typical elevations are provided with this Ordinance as Exhibit "D"

– Building Elevations (a copy of which is attached hereto and incorporated herein) to illustrate the architectural style and detail.

(j) Pedestrian Circulation:

- (i) The Site Plan shall indicate future access between properties.
- (ii) The pedestrian connections shall access public open green space corridors, where appropriate.

(k) Signs:

- (i) Monument Signs: A Monument Sign shall be located at the primary entrance to the development, the central landscape feature and the secondary entrance as shown in Exhibit "B" – Development/Site Plan. The primary entrance monument sign shall be a maximum of six (6) feet in height, above finish grade of the adjacent concrete curb and maximum of twenty (20) feet in length. The central monument sign shall be a maximum of six (6) feet in height, above finish grade of the adjacent concrete curb and maximum of sixty (60) feet in length. The secondary entrance monument sign shall be a maximum of four (4) feet in height, above finish grade of the adjacent concrete curb and maximum of twelve (12) feet in length. The Monument Signs shall be placed on a masonry stone wall of material similar to the main structure, as illustrated in Exhibit "I" – Sign Criteria (a copy of which is attached hereto and incorporated herein).
- (ii) Medical Office Building Signage, Cancer Clinic Building Signage & Extended Stay Surgery Center Building Signage: Applied back lit, cast aluminum letters shall be permitted on the building face as indicated in Exhibit "I" – Sign Criteria.
- (iii) Bank Building Signage & Pharmacy Building Signage: Applied back lit, channel letters shall be permitted on the building face as indicated in Exhibit "I" – Sign Criteria.

- (iv) Extended Stay Surgery Center: Any signs required by the Texas Department of Health and other licensing entities.
- (v) Directional Signage: Directional signage shall be located in close proximity to the primary entrance to the development and along the West side of Phase I and East side of Phase II to help route traffic.
- (vi) Construction Sign: A Construction sign will be permitted during construction. The Construction sign will be constructed from painted $\frac{3}{4}$ " thick exterior grade plywood on a suitable wood frame and will not exceed one hundred twenty (120) SF. The sign will be supported on a minimum of two 4 x 4 posts securely embedded and braced to resist wind load. The surface of the sign, frame and supports will be painted with 2 coats of exterior oil paint. The sign shall be lettered by a qualified sign painter and shall be maintained in good condition for the duration of the job. The Construction sign will be located along State Highway 114 to the west of the proposed main entry.
- (vii) Lease Sign: A Lease sign will be permitted during and after construction until the building is leased. The Lease sign will be constructed from painted $\frac{3}{4}$ " thick exterior grade plywood on a suitable wood frame and will not exceed one hundred twenty (120) SF. The sign will be supported on a minimum of two 4 x 4 posts securely embedded and braced to resist wind load. The surface of the sign, frame and supports will be painted with 2 coats of exterior oil paint. The sign shall be lettered by a qualified sign painter and shall be maintained in good condition. The Lease sign will be located along State Highway 114 to the west of the proposed main entry.
- (viii) No signage and/or advertising of any type shall be displayed in window areas of any building. No banner or temporary sign shall be allowed on the exterior of any building with the exception of the grand opening if the permanent sign is not available at opening. Banner signs shall be permitted in accordance with the allowable time regulations as outlined in the Town's sign ordinance.

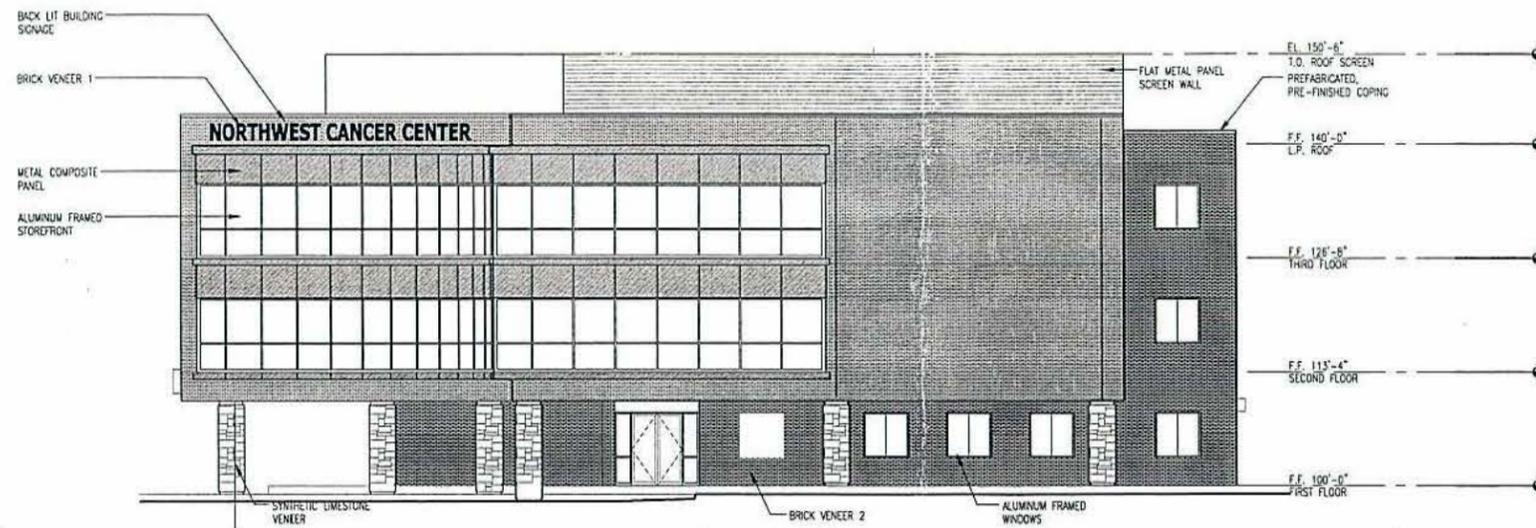
(I) Screening Standards:

- (i) New perimeter screening at the North Property Line and trash receptacle screening shall be constructed of a decorative masonry and wood fence consisting of masonry posts at eight-foot intervals. The wooden insets shall be constructed of cedar or redwood. The vertical surface of which is not more than thirty percent (30%) open.
 - (ii) Landscaped earth berms may, when appropriate in scale, be used as a screening element in conjunction with a fence, hedge or other dense planting material in a landscape buffer area.
 - (iii) Exterior appliances and equipment shall be screened so as not to be visible from any street. All utility and mechanical equipment at roof level shall be screened with flat metal panels or E.I.F.S. All ground-mounted equipment shall be screened from view with masonry and/or wood construction similar to the primary structure or landscape screening.
- (m) Fire Lanes: Fire lanes are shown on Exhibit "G" Civil Site Plan, (a copy of which is attached hereto and incorporated herein). Location and detail shall be provided at the time of Final Site Plan approval and shall be approved by the fire department.
- (n) Mechanical and Electrical Equipment: Mechanical and Electrical equipment shall be designed installed and operated to minimize noise impact on surrounding property. All such equipment shall be screened from public view as illustrated in Exhibit "D" – Building Elevations.
- (o) Construction Trailer: A Construction Office used temporarily by contractors during the improvements and/or construction of the site, shall be permitted for a period of and in connection with the construction of the project, but in no event shall the Developer have such right for a period in excess of that permitted by the Town of Trophy Club. A permit for the Construction Office shall be renewed annually.
- (p) Hours of Operation:
- (i) Phase 1: Hours of operation for the uses set forth herein, shall be from 6:00 a.m. to 11:00 p.m. Deliveries and service calls are allowed only between 8:00 a.m. and

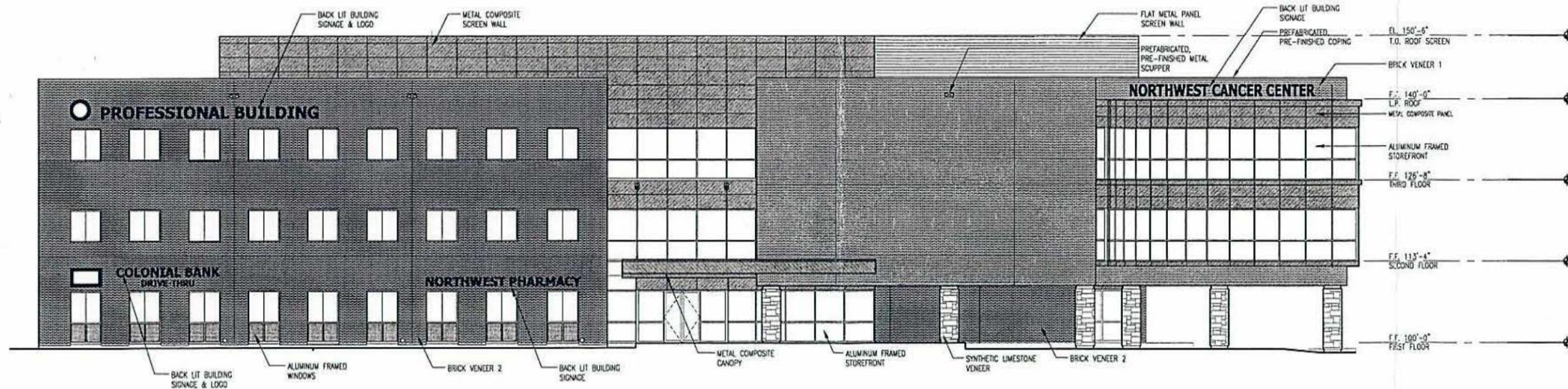
5:00 p.m. ATM & Bank Drive-Thru lanes shall be open between 6:00 a.m. and 8:00 p.m. No outside sales of any kind shall be conducted, including but not limited to truck lot, pedestrian walkway, tent or other sales.

- (ii) Phase 2: Hours of operation for the uses set forth herein, shall be twenty-four hours a day.

(p) Development Schedule: Phase 1 and Phase II shall be developed in accordance with The Development Schedule - Exhibit "K" (a copy of which is attached hereto and incorporated herein).



02 East Elevation - Phase 1
SCALE: 1" = 10'-0"



01 South Elevation - Phase 1
SCALE: 1" = 10'-0"

**TROPHY CLUB
MEDICAL PLAZA**
TROPHY CLUB, TEXAS

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GSR
Andrade

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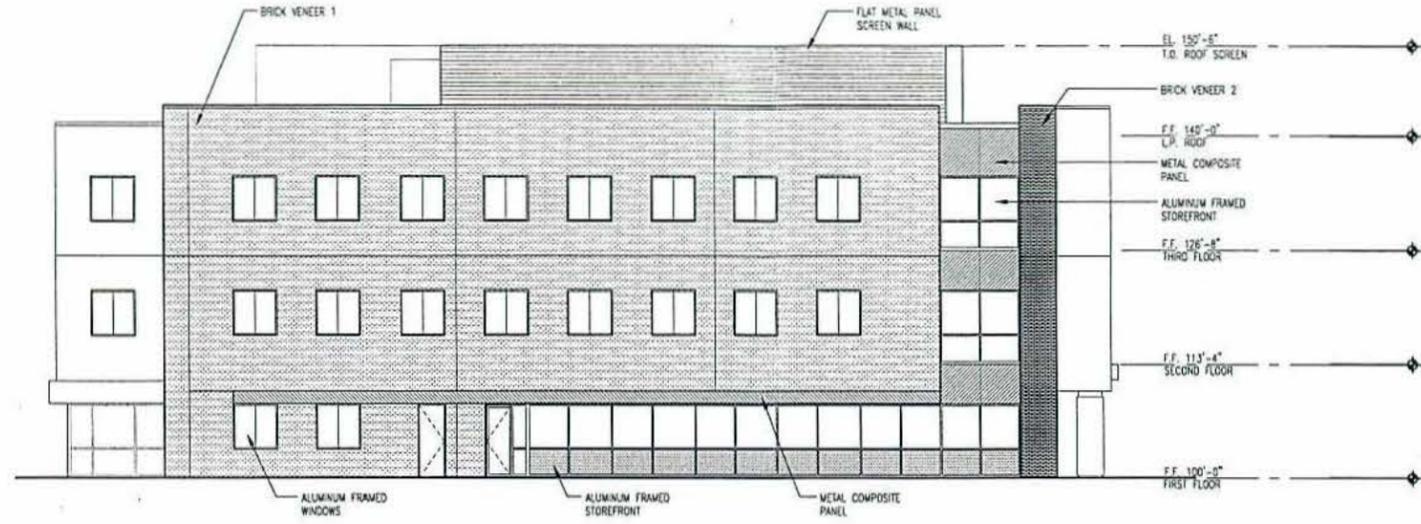
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04/18/02	REVISED PD SUBMITTAL
05/08/02	REVISED PD SUBMITTAL
07/25/02	AMENDED PD SUBMITTAL
08/01/02	AMENDED PD SUBMITTAL

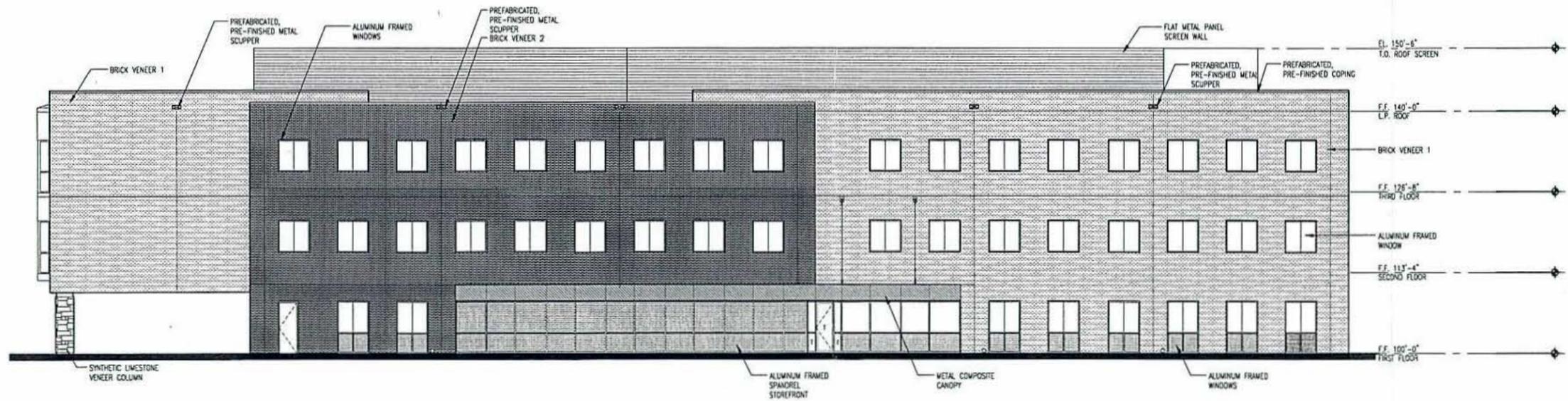
Date:
AUGUST 1, 2002
Project No.
1478 / 1520
Sheet Title:
BUILDING ELEVATIONS
Drawing No.



D1



02 West Elevation - Phase 1
SCALE: 1" = 10'-0"



01 North Elevation - Phase 1
SCALE: 1" = 10'-0"

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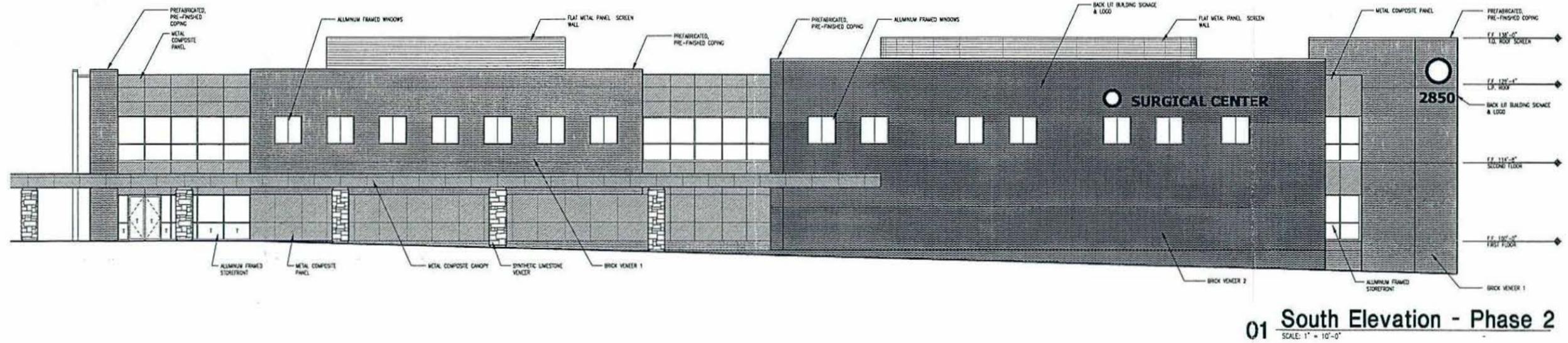
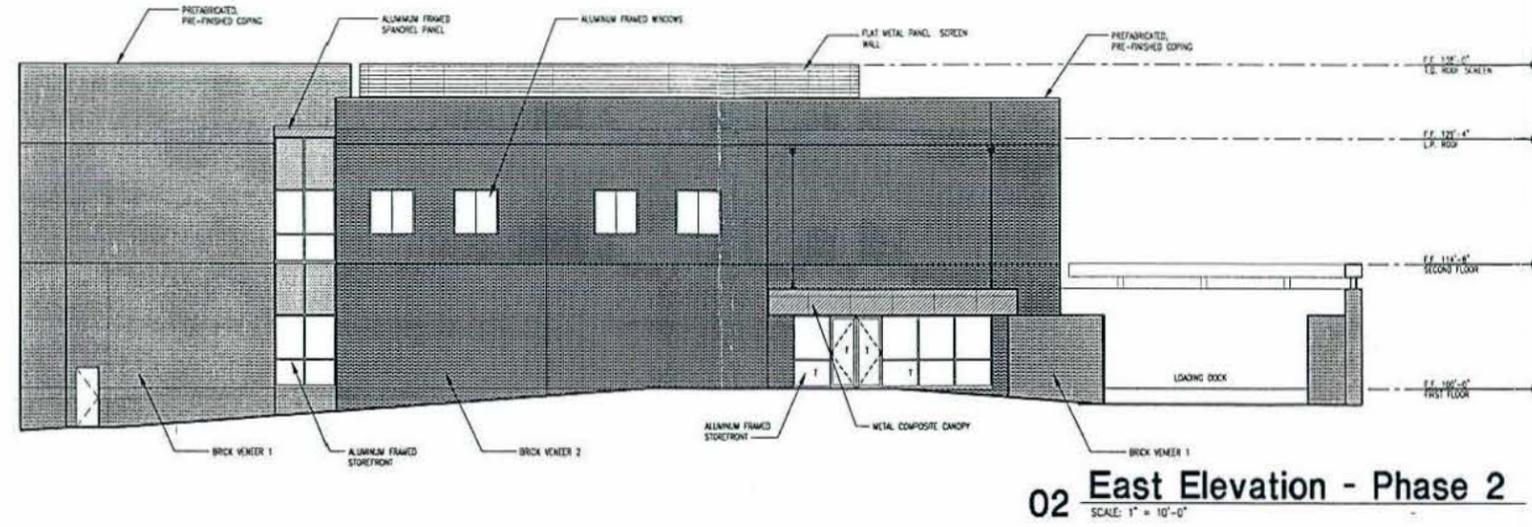
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05/08/02	REVISED PD SUBMITTAL
07/25/02	AMENDED PD SUBMITTAL

Date: **JULY 25, 2002**
Project No. **1476 / 1520**
Sheet Title: **BUILDING ELEVATIONS**
Drawing No.



D2

**TROPHY CLUB
MEDICAL PLAZA**
TROPHY CLUB, TEXAS



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07/25/02	AMENDED PD SUBMITTAL
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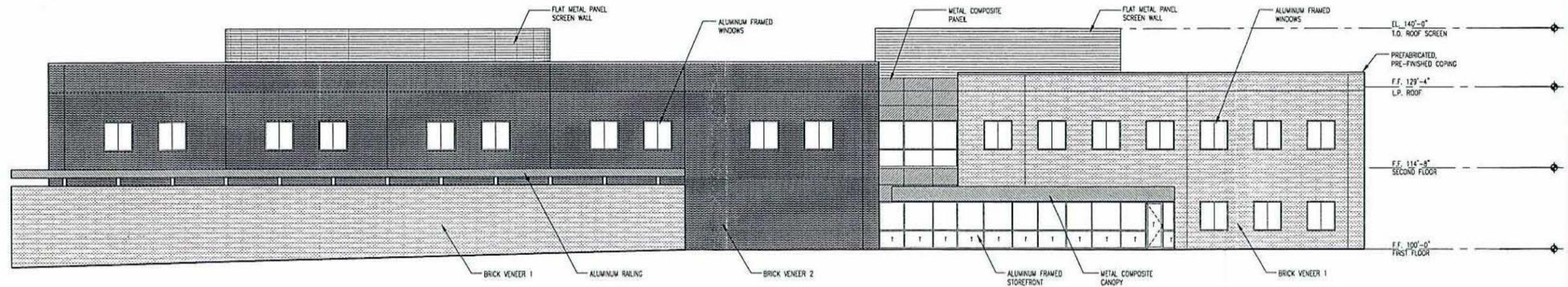
Date: **AUGUST 1, 2002**
Project No. **1478 / 1520**
Sheet Title: **BUILDING ELEVATIONS**
Drawing No. **D3**



**TROPHY CLUB
MEDICAL PLAZA**
TROPHY CLUB, TEXAS



02 West Elevation - Phase 2
SCALE: 1" = 10'-0"



01 South Elevation - Phase 2
SCALE: 1" = 10'-0"

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05/08/02	REVISED PD SUBMITTAL
07/25/02	AMENDED PD SUBMITTAL

Date:
JULY 25, 2002

Project No.
1478 / 1520

Sheet Title:
BUILDING ELEVATIONS

Drawing No.



D4

TROPHY CLUB MEDICAL PLAZA

TROPHY CLUB, TEXAS

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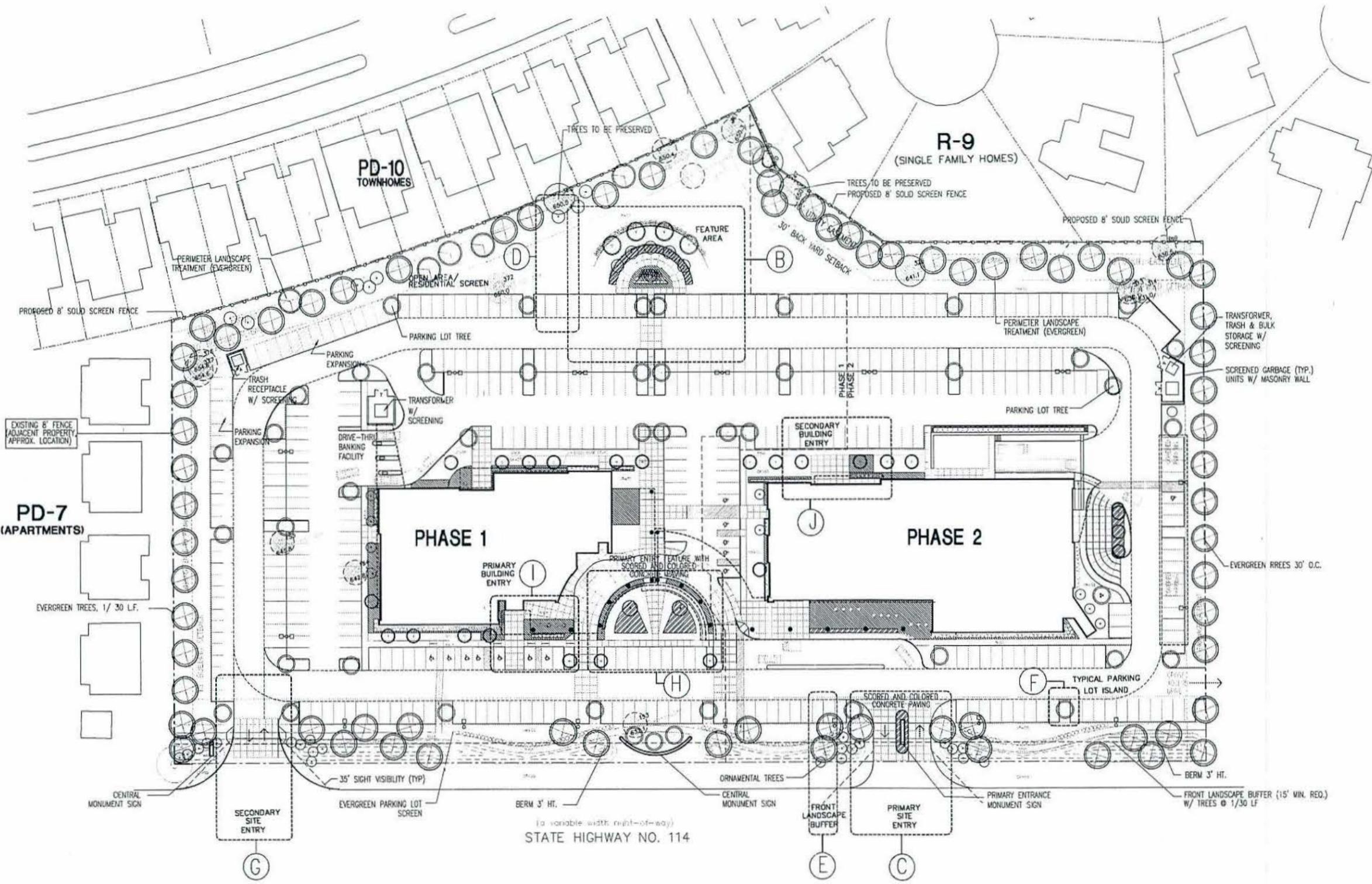
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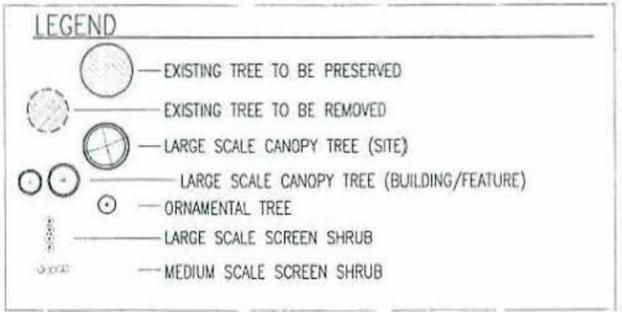
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06/06/02	REVISED PD SUBMITTAL
07/26/02	AMENDED PD SUBMITTAL

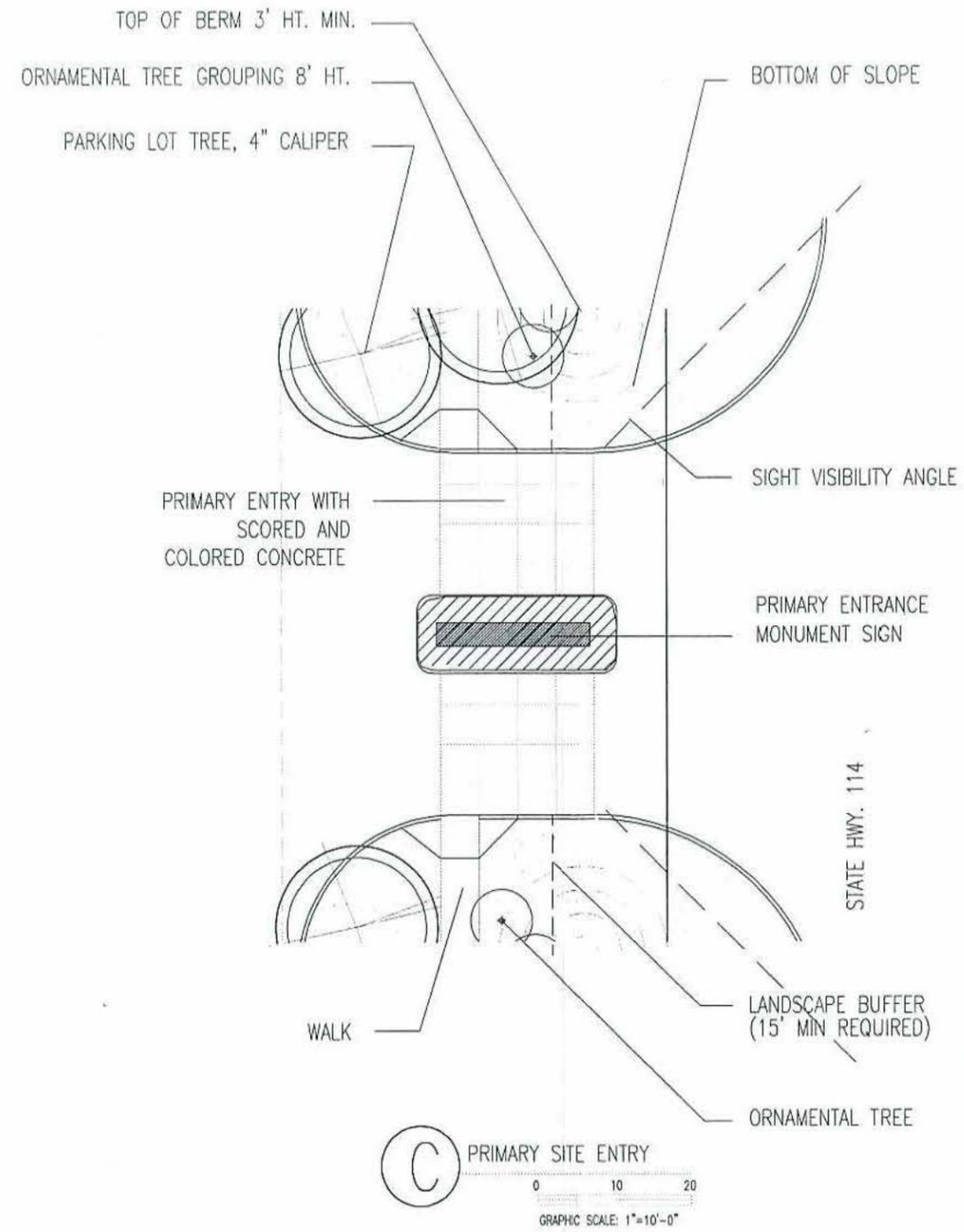
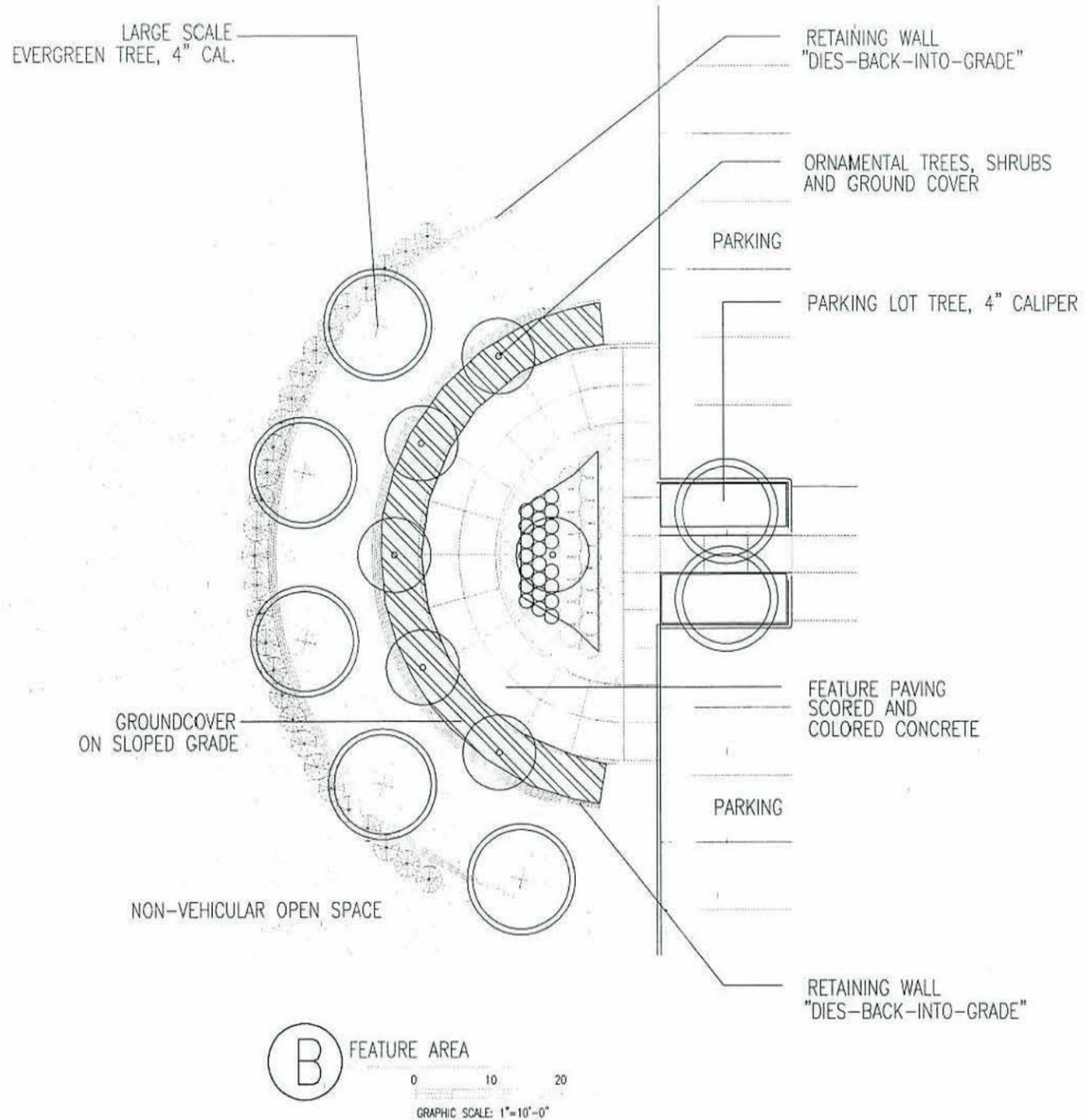
Date: **JULY 25, 2002**
Project No. **1478 / 1520**
Sheet Title: **LANDSCAPE PLAN**
Drawing No.

RYBA LANDSCAPE ARCHITECTURE
Landscape Architecture/Site Planning
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2990 Commerce Street
Dallas, Texas
75226-1609



EXISTING TREES			TREES REMAINING		
#153	21"	HACKBERRY	-	-	-
#154	06"	ELM	-	-	-
#155	10"	RED OAK	-	-	-
#309	14"	COTTONWOOD	#309	14"	COTTONWOOD
#313	CLUSTER	WILLOWS	-	-	-
#314	CLUSTER	WILLOW	-	-	-
#326	25"	RED OAK	#326	25"	RED OAK
#347	CLUSTER	RED OAKS	#347	CLUSTER	RED OAKS
#357	06"	RED OAK	-	-	-
#361	12"	COTTONWOOD	#361	12"	COTTONWOOD
#365	07"	CEDAR	-	-	-
#366	CLUSTER	COTTONWOODS	#366	CLUSTER	COTTONWOODS
#369	10"	ELM	#369	10"	ELM
#372	24"	RED OAK	-	-	-
#376	12"	RED OAK	-	-	-
#377	04"	RED OAK	-	-	-

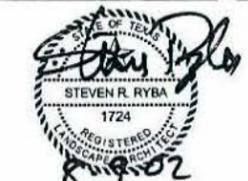




LEGEND:

	LARGE SCALE CANOPY TREE (SITE)
	LARGE SCALE CANOPY TREE (BUILDING/FEATURE)
	ORNAMENTAL TREE
	MEDIUM SCALE SCREEN SHRUB
	GRASS
	SEASONAL COLOR
	GROUND COVER

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 Dallas, Texas
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 TROPHY CLUB, TEXAS**

OWNER / DEVELOPER
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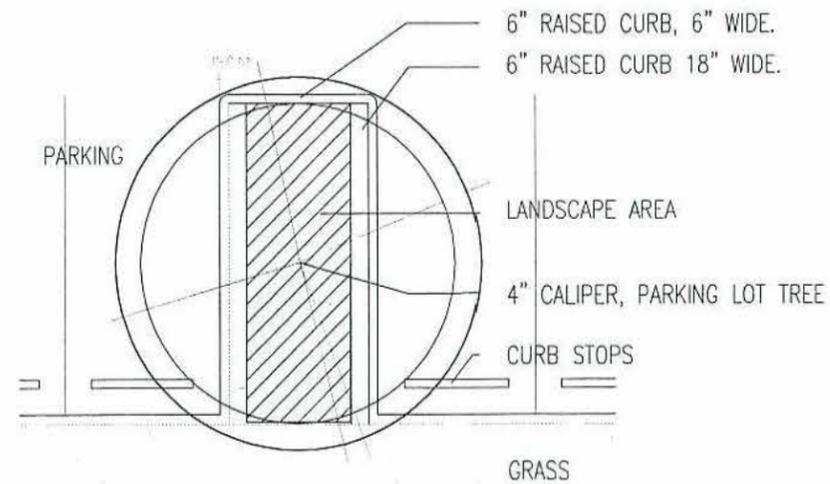
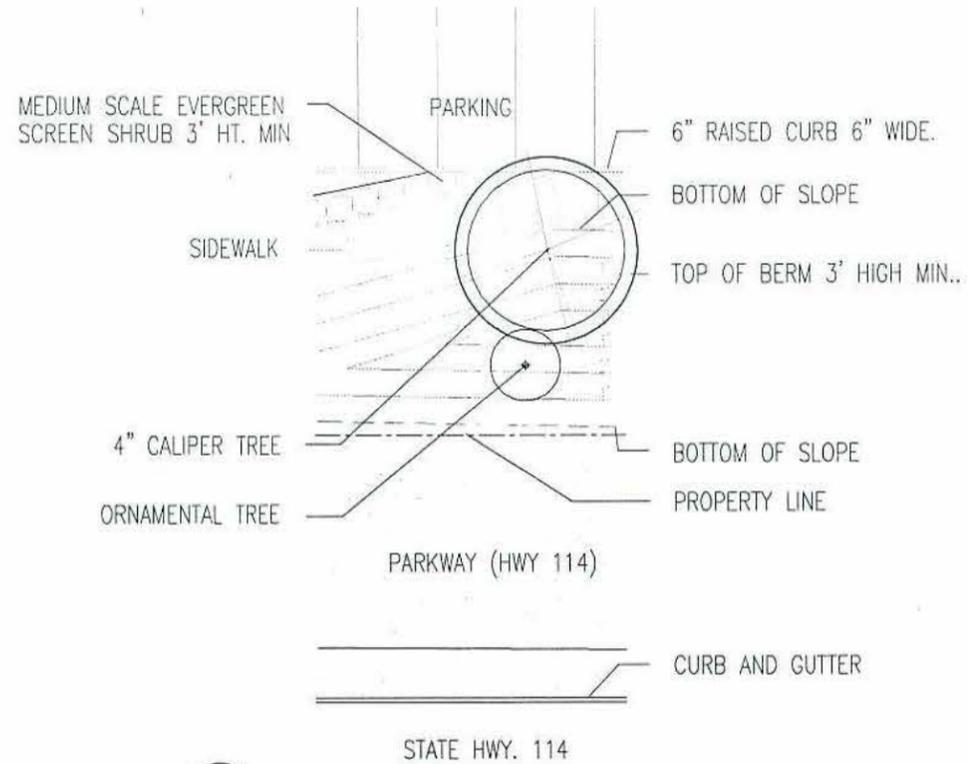
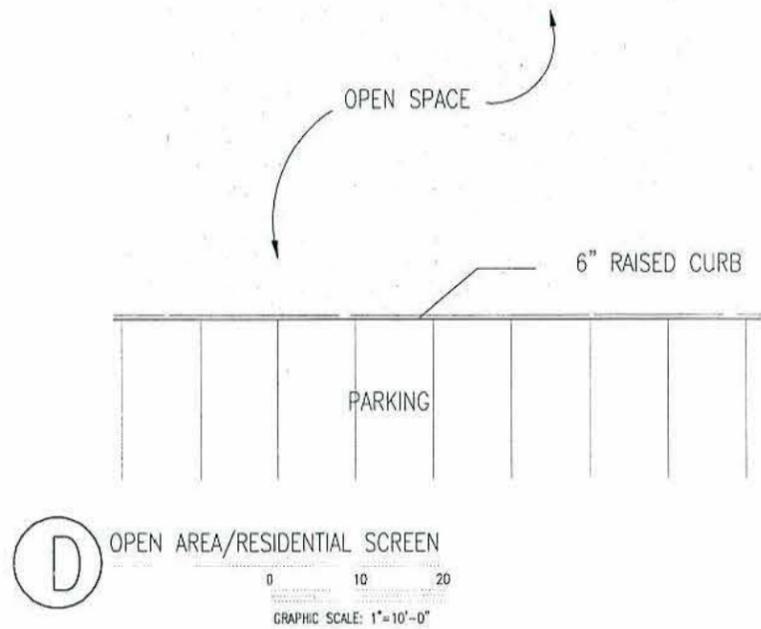
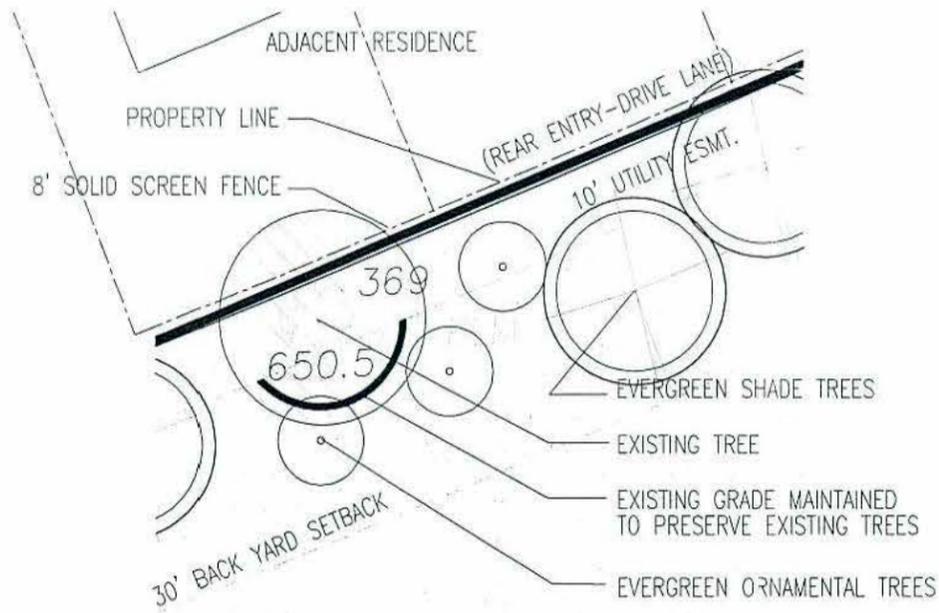
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Issue Log:

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05/08/02	REVISED PD SUBMITTAL
07/25/02	AMENDED PD SUBMITTAL

Date: **JULY 25, 2002**
 Project No. **1476 / 1520**
 Sheet Title: **LANDSCAPE DETAILS**
 Drawing No.



LEGEND:

- LARGE SCALE CANOPY TREE (SITE)
- EXISTING TREE TO REMAIN
- ORNAMENTAL TREE
- LARGE MEDIUM SCALE SCREEN SHRUB
- GRASS
- GROUND COVER

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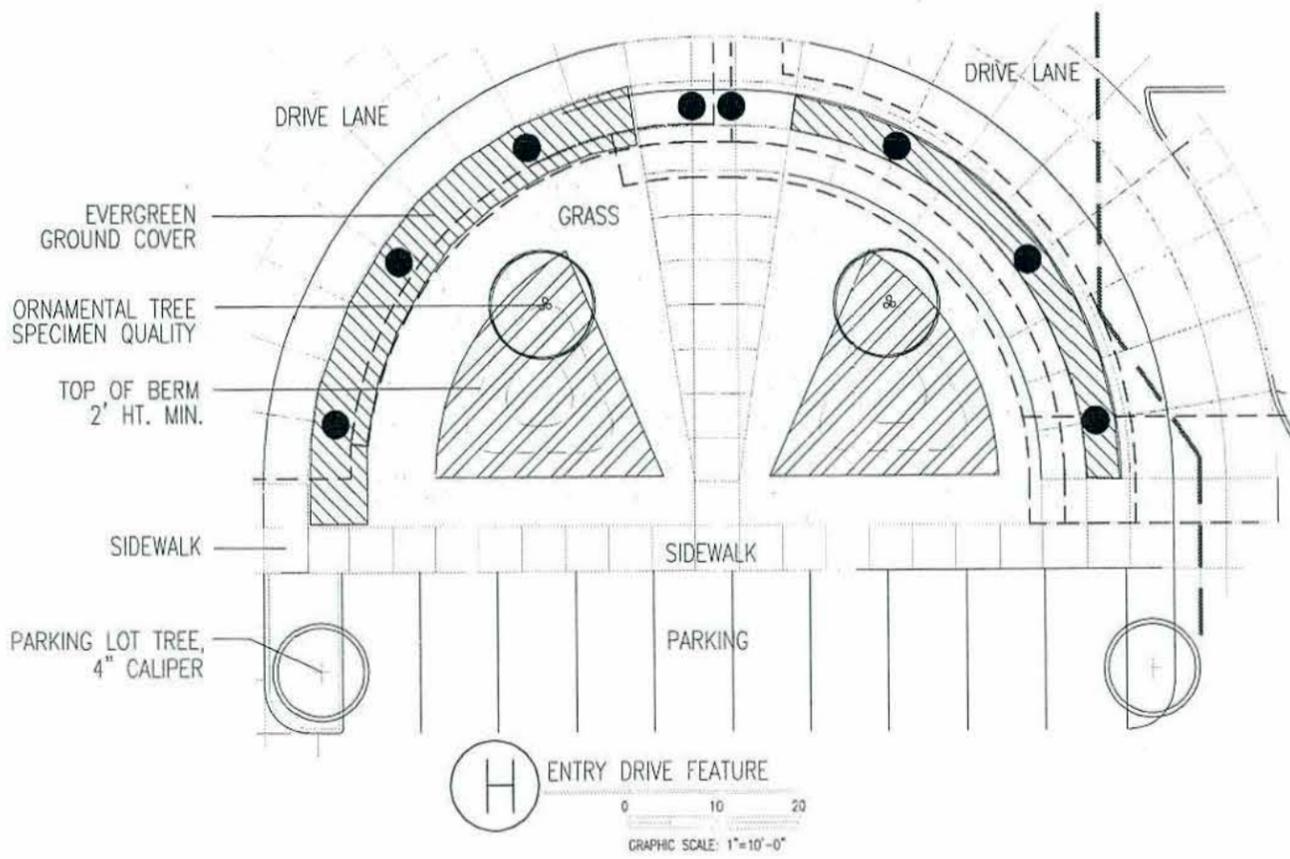
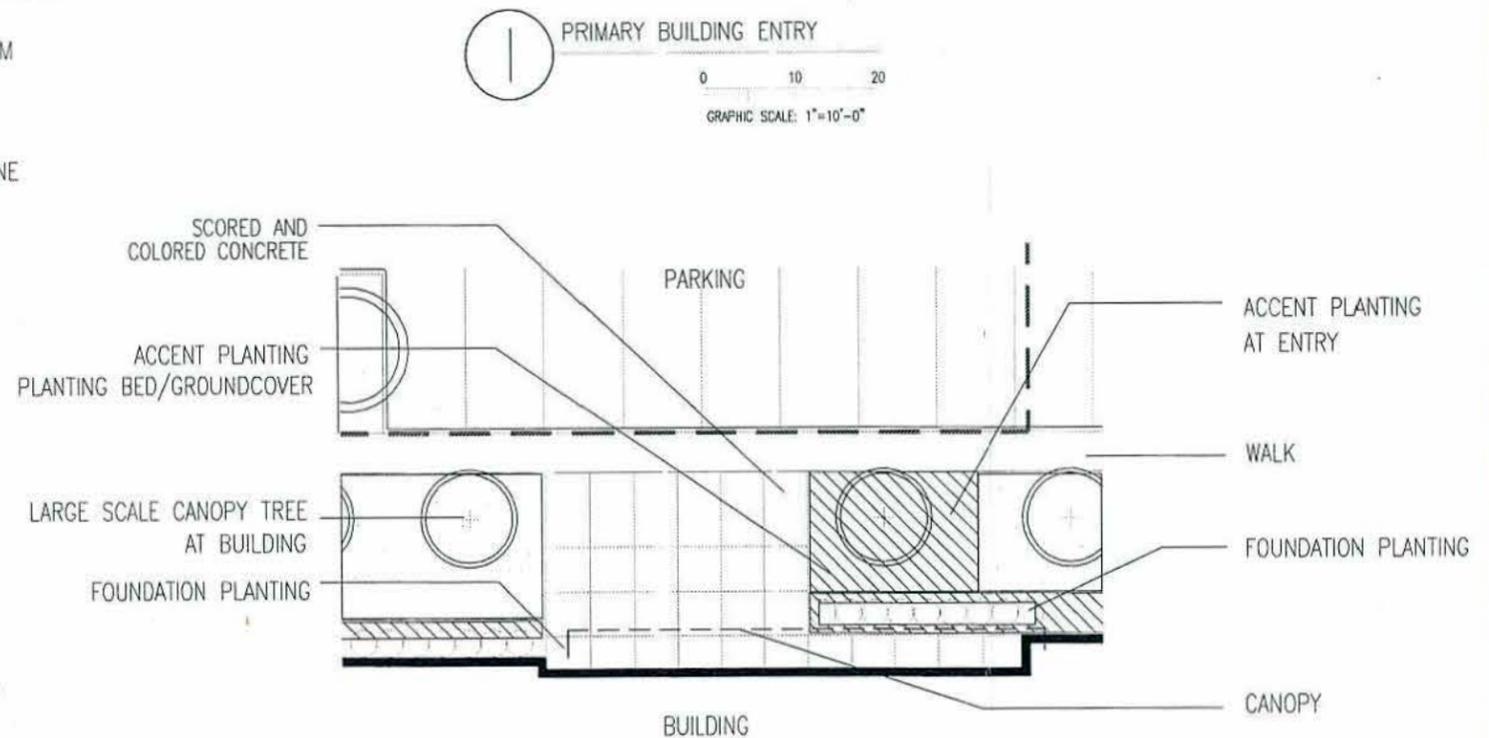
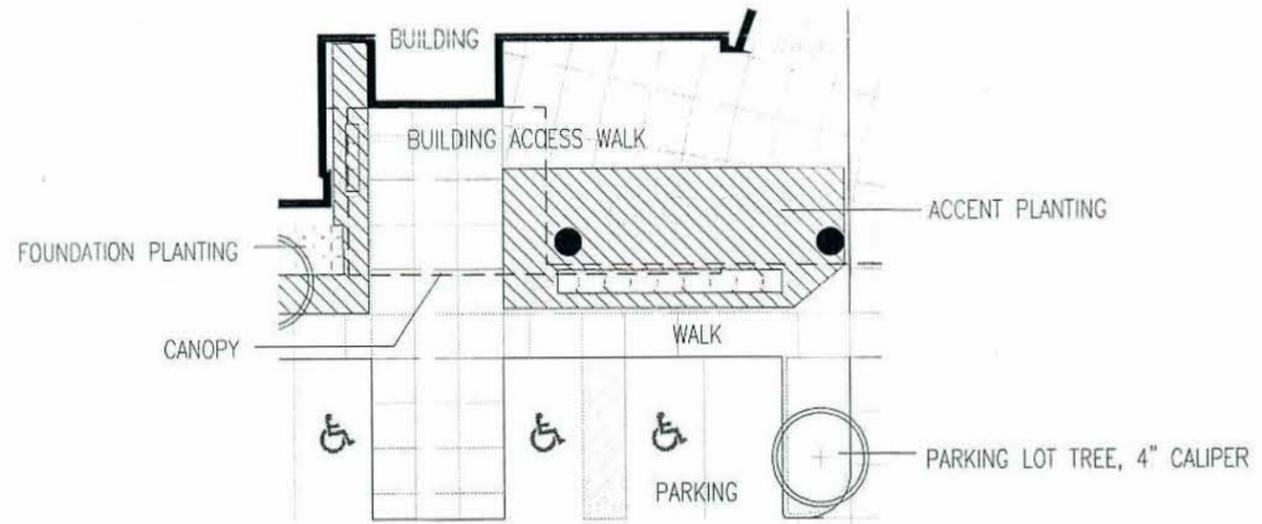
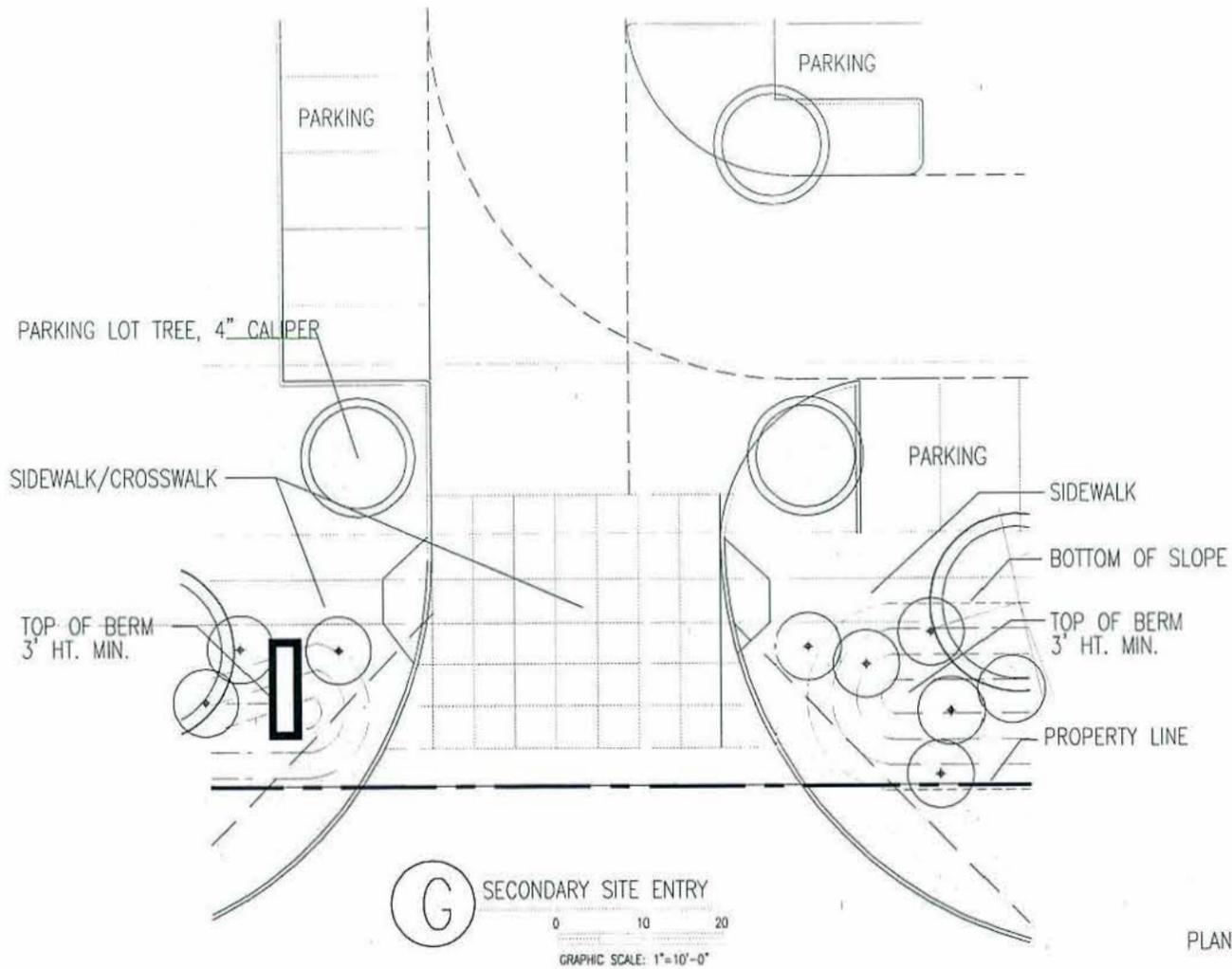
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07/25/02	AMENDED PD SUBMITTAL

Date: **JULY 25, 2002**

Project No. **1476 / 1520**

Sheet Title: **LANDSCAPE DETAILS**

Drawing No.



LEGEND:

- — LARGE SCALE CANOPY TREE (SITE)
- — LARGE SCALE CANOPY TREE (BUILDING/FEATURE)
- — ORNAMENTAL TREE
- ▨ — GROUNDCOVER
- ▨ — GRASS
- ▨ — GROUNDCOVER/SEASONAL COLOR
- — SPECIMEN ORNAMENTAL TREE

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Date: **JULY 25, 2002**
 Project No. **1476 / 1520**
 Sheet Title: **LANDSCAPE DETAILS**
 Drawing No.

PLANT LIST

COMMON NAME

BOTANICAL NAME

TREES

SOUTHERN LIVE OAK*
TEXAS RED OAK
BUR OAK
CHINESE PISTACIO
MAGNOLIA*

Quercus virginiana
Quercus texana
Quercus macrocarpa
Pistacia chinensis
Magnolia grandiflora

ORNAMENTAL TREES

CREPE MYRTLE (NATCHES-WHITE)
YAUPON HOLLY*
WAX MYRTLE*
SAVANNA HOLLY*
FOSTERS HOLLY*
EAST PALATKA HOLLY*
LITTLE GEM MAGNOLIA

Lagerstroemia indica 'Natches'
Ilex vomitoria
Myrica cerifera
Ilex opaca 'Savannah'
Ilex attenuata 'Foster'
Ilex attenuata 'East Palatka'
Magnolia grandiflora 'Little Gem'

LARGE SHRUBS

TEXAS SAGE*
ELAEAGNUS*
NANDINA*
LOROPETALUM*
CHERRY LAUREL*
CLEYERA*

Leucophyllum frutescens
Eleagnus pungens
Nandina domestica
Loropetalum chinensis
Prunus caroliniana
Ternstromi gymnanthera

SHRUBS

NELLIE R. STEVENS HOLLY
DWARF WAX MYRTLE
DWARF TEXAS SAGE (SILVERADO)
RED BARBERRY
INDIAN HAWTHORN
DWARF YAUPON HOLLY
HARBOUR DWARF NANDINA
TAM JUNIPER
GULF STREAM NANDINA
MOONBAY NANDINA

Ilex x 'Nellie R. Stevens'
Myrica pusilla
Leucophyllum frutescens 'Silverado'
Berberis x mentorensis
Raphiolepis indica '
Ilex vomitoria 'Nana'
Nandina domestica 'Harbour Dwarf'
Juniperus sabina 'Tamariscifolia'
Nandina domestica 'Gulf Stream'
Nandina domestica 'Moon Bay'

GROUND COVER

ASIAN JASMINE
LIRIOPE
SEASONAL COLOR

Trachelospermum asiaticum
Liriope muscari
(Annual)

VINES

CROSS VINE
EVERGREEN WISTERIA
VIRGINIA CREEPER

Bignonia capreolata
Millettia reticulata
Parthenocissus aquifolia

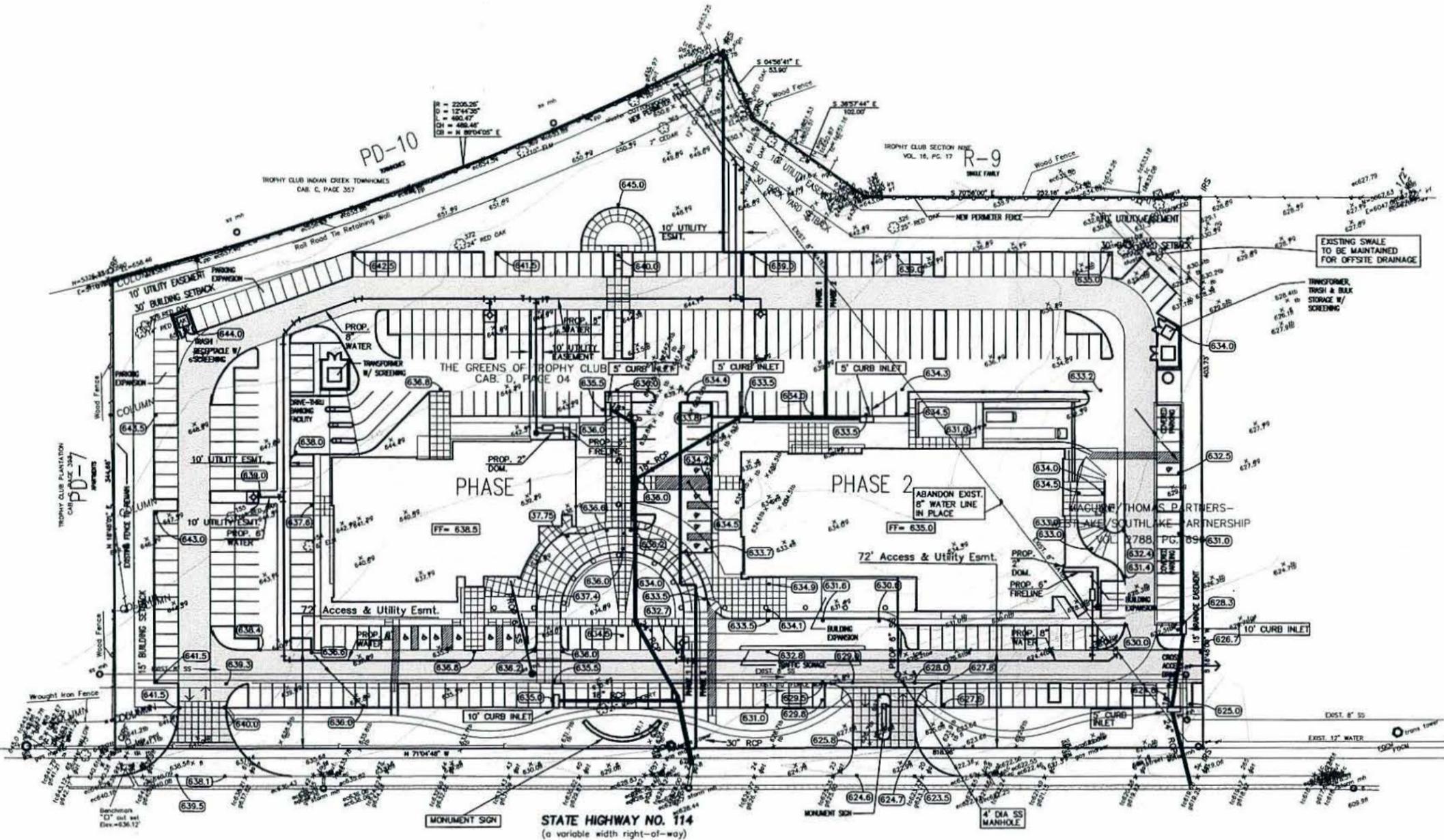
GRASS

COMMON BERMUDA

Cynodon dactylon

* Indicates evergreen plant material to be selected for perimeter landscape treatment with residential adjacency.

1. All plant material used, will be common to the area.
2. All proposed trees will be 4" caliper as measured 12" from finished grade and shall be a minimum of 7' height with a minimum canopy spread of 15'.
3. All plant material will conform to the Town of Trophy Club Landscape Ordinance.
4. All existing site trees will be preserved whenever possible, in conformance with Article 8 "Tree Preservation and Removal". Any trees, removed from site will be mitigated, as required, by Town of Trophy Club, Article 8, "Tree Preservation and Removal".
5. All proposed trees used within the front 35' utility easement, along State Highway 114, will be subject to review and comment by T.P.& L. for conformance.



LEGEND

	Proposed Curb
	Existing Contour
	Existing Spot Elevation
	Proposed Spot Elevation
	Flow Arrow
	Existing Storm Sewer Line
	Proposed Storm Sewer Line
	Existing Sanitary Sewer Line
	Proposed Sanitary Sewer Line
	Existing Water Line
	Proposed Water Line
	Proposed Fireline Easement

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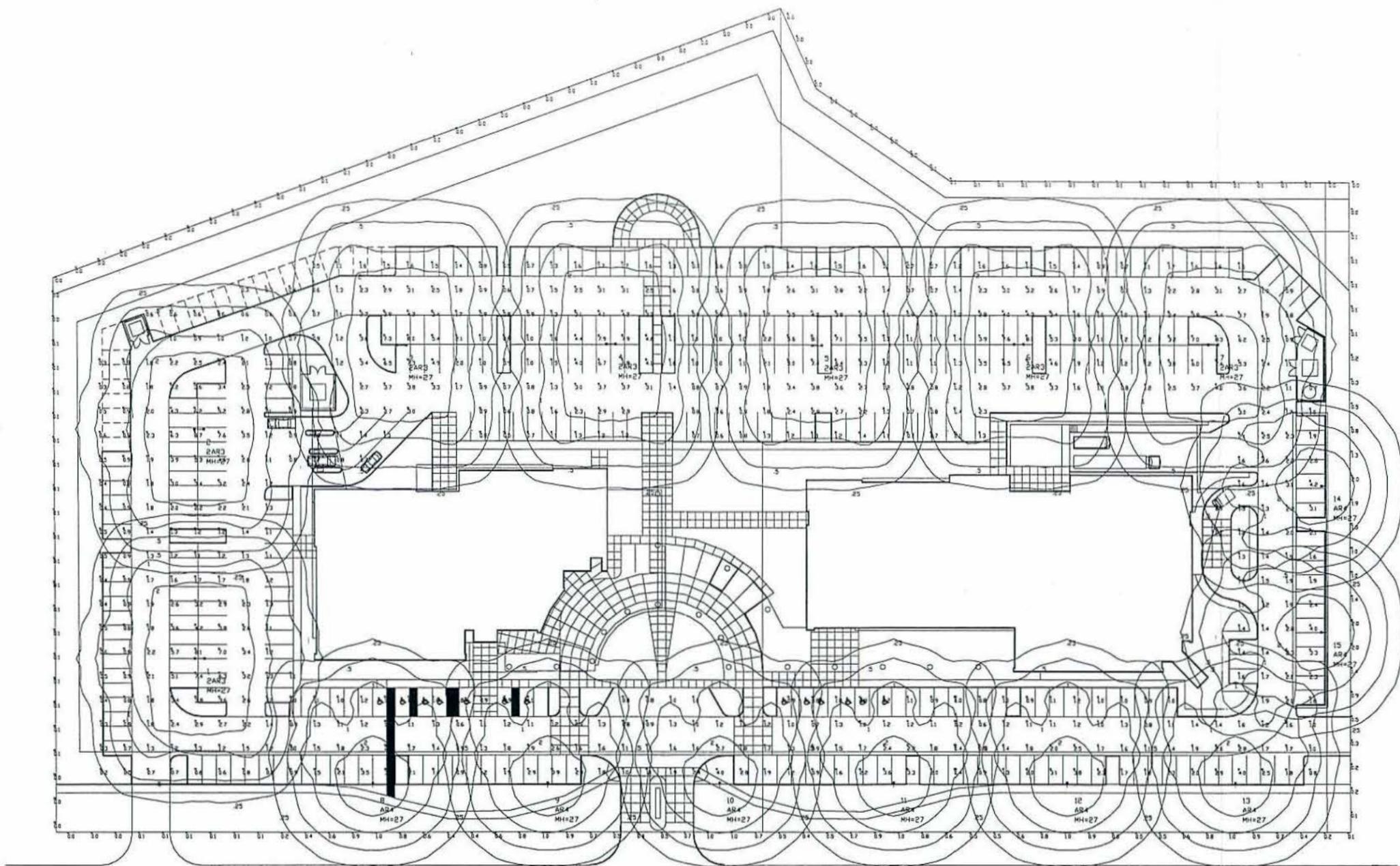
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08/01/02	MARKED PD SUBMITTAL

Date: **AUGUST 1, 2002**
Project No. **1476 / 1520**
Sheet Title: **CIVIL SITE PLAN**
Drawing No. **G1**

1. PROPOSED UTILITY SIZES ARE APPROXIMATE AND WILL BE FINALIZED DURING FINAL ENGINEERING.
2. THE LOCATION OF ALL UTILITIES LOCATED OF THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

BENCHMARK:
"□" Cut set on grate inlet located approximately 16' South of Southwest corner of the property along State Highway No. 114.
ELEV. = 636.12'





Luminaire Location Summary
Project: TROPHY CLUB MEDICAL PLAZA SITE LIGHTING LAYOUT HLA#22-0228A1

SeqNo	Label	X	Y	Z	Orient	Tilt
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3	2AR3	213.76	300.78	27	0	0
4	2AR3	345.66	301.5	27	0	0
5	2AR3	476.11	300.78	27	0	0
6	2AR3	602.93	301.5	27	0	0
7	2AR3	726.13	301.5	27	0	0
8	AR4	194.92	25.39	27	90	0
9	AR4	305.07	25.39	27	90	0
10	AR4	414.5	25.39	27	90	0
11	AR4	523.93	25.39	27	90	0
12	AR4	633.36	25.39	27	90	0
13	AR4	740.62	25.39	27	90	0
14	AR4	797.87	213.81	27	180	0
15	AR4	797.87	122.5	27	180	0

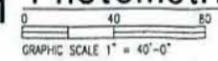
Numeric Summary
Project: TROPHY CLUB MEDICAL PLAZA SITE LIGHTING LAYOUT HLA#22-0228A1

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
AT GRADE	Illuminance	Fc	1.97	8.7	0.2	9.85	43.50
NORTH PROPERTY LINE	Illuminance	Fc	0.03	0.1	0.0	0.00	0.00
OTHER-PROPERTYLINE	Illuminance	Fc	0.50	2.0	0.0	0.00	0.00

Luminaire Schedule
Project: TROPHY CLUB MEDICAL PLAZA SITE LIGHTING LAYOUT HLA#22-0228A1

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
	7	2AR3	BACK-BACK	40000	0.740	KIM ARCHETYPE 400MH TYPE III
	8	AR4	SINGLE	40000	0.740	KIM ARCHETYPE 400MH TYPE IV

01 Photometric Plan



**TROPHY CLUB
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07/25/02	AMENDED PD SUBMITTAL

Date: **JULY 25, 2002**
Project No. **1478 / 1520**
Sheet Title: **PHOTOMETRIC PLAN**

Drawing No. **H1**